

Part 6 Zones

6.1 Preliminary

- (1) Zones organise the planning scheme area in a way that facilitates the location of preferred or acceptable land uses.
- (2) Zones are mapped and included in Schedule 2.
- (3) The categories of development and assessment for development in a zone are in Part 5.
- (4) Assessment benchmarks for zones are contained in a zone code.
- (5) A precinct may be identified for part of a zone.
- (6) Precinct provisions are contained in the zone code.
- (7) Each zone code identifies the following:
 - (a) the purpose of the code
 - (b) the overall outcomes that achieve the purpose of the code
 - (c) the performance outcomes that achieve the overall outcomes and the purpose of the code
 - (d) the acceptable outcomes that achieve the performance and overall outcomes and the purpose of the code
 - (e) the performance and acceptable outcomes for the precinct.
- (8) The following are the zone codes for the planning scheme:
 - (a) Low density residential
 - (b) Low-medium density residential
 - (c) Medium density residential
 - (d) Character residential
 - (e) Centre
 - (f) Principal centre
 - (g) Neighbourhood centre
 - (h) Sport and recreation
 - (i) Open space
 - (j) Environmental management
 - (k) Conservation
 - (l) Low impact industry
 - (m) Medium impact industry
 - (n) Special industry
 - (o) Industry investigation
 - (p) Major tourism
 - (q) Minor tourism
 - (r) Community facilities
 - (s) Emerging community
 - (t) Limited development
 - (u) Mixed use

- (v) Rural zone
- (w) Rural residential
- (x) Special purpose
- (y) Specialised centre
- (z) Township

6.2 Zone codes

6.2.1 Low density residential

6.2.1.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.1.2 Purpose

1. The purpose of the low density residential zone is to provide for predominantly detached dwelling houses within existing suburban areas supported by some community uses and small-scale services and facilities that cater for local residents. Development is low rise, consistent with the low density character of the region's existing suburban areas.
2. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) A range of housing, predominantly detached dwelling houses and some dual occupancy, on appropriate lot sizes.
 - (b) Buildings are of a scale, height and size that reflect a low density suburban character and create an attractive streetscape.
 - (c) Development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts.
 - (d) Development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling.
 - (e) Development responds to land constraints, including but not limited to bushfire, flooding and minimising changes to natural topography.
 - (f) Development is supported by necessary community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community.
 - (g) Small scale non-residential uses may only be supported where such uses directly support the day to day needs of the immediate residential community, complement local residential amenity and do not undermine the viability of nearby centres.
 - (h) Residential development is protected from the impacts of any nearby industrial activities, transport corridors, infrastructure, installations and major facilities.
 - (i) Natural features such as creeks, gullies, waterways, wetlands, vegetation and bushland are retained, enhanced and buffered from the impacts of development. Any unavoidable impacts are minimised through location, design, operation and management requirements.
3. The purpose of the zone will also be achieved through the following additional overall outcome for the following precinct:
 - (a) Calliope neighbourhood precinct:
 - (i). Lot sizes are consistent with the semi-rural setting and are larger than lot sizes elsewhere in the Low density residential zone in other urban areas.

6.2.1.3 Assessment benchmarks

Table 6.2.1.3.1—Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development: (a) is ancillary to the primary use, and (b) provides adequate open space for the caretaker.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 The caretaker’s accommodation unit is a maximum of 100m ² GFA.
	AO1.3 Private open space area is provided which: (a) is directly accessible from a habitable room, and (b) where a balcony, a verandah or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
Use – Sales office	
PO2 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO2.1 Development of the sales office is in place for no more than two years.
	AO2.2 The site coverage of the building is a maximum of 50% of the site area.
	AO2.3 There are a maximum of 2 employees on site at any one time.
	AO2.4 The use operates between: (a) 8am and 6pm Monday to Saturday (b) 9am and 1pm on Sunday.
Built form (if involving building work)	
PO3 Buildings:	AO3.1 Building height does not exceed 8.5m and 2 storeys above ground level.

Performance outcomes	Acceptable outcomes
<p>(a) are low rise</p> <p>(b) do not create unreasonable overshadowing on adjoining residential properties, and</p> <p>(c) do not adversely impact on the low density residential character and amenity of the area.</p> <p>Note—Setbacks for Dwelling house and Dual occupancy in this zone are regulated by the Queensland Development Code MP1.1 and MP1.2. One way to achieve the performance outcome are shadow diagrams where building height exceeds the corresponding acceptable outcome. These diagrams are to address the impacts of overshadowing between the hours of 9am to 3pm on 21 June.</p>	<p>AO3.2</p> <p>Maximum site cover is 50% or where a dual occupancy 40% of the total site area.</p>
Residential density	
<p>PO4</p> <p>Development reflects the low density character of the area.</p>	<p>AO4.1</p> <p>Residential density is a maximum of:</p> <p>(a) one dwelling house (including 1 secondary dwelling) per lot, or</p> <p>(b) one dwelling per 400m² where a dual occupancy.</p> <p>AO4.2</p> <p>Where a dwelling house, any secondary dwelling is:</p> <p>(a) a maximum of 80m² GFA</p> <p>(b) located within 10m of the main building</p> <p>(c) linked to the main building by a defined footpath in the most direct route possible.</p>
Design and streetscape	
<p>PO5</p> <p>Driveways must not visually dominate the street frontage.</p>	<p>AO5</p> <p>Vehicle access is provided through a:</p> <p>(a) single driveway for a dwelling house</p> <p>(b) one paired driveway for dual occupancy (where not on a corner lot).</p>
For all assessable development	
Design and amenity	
<p>PO6</p> <p>Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on-site environment and provide shading.</p> <p>Note—Applicants are also referred to the Landscaping code.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>PO7</p> <p>Development facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) opportunities for casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of entrapment locations, and (f) building entrances, loading and storage areas that are well lit and lockable after hours. <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
<p>PO8</p> <p>Design elements contribute to an interesting and attractive streetscape and building through:</p> <ul style="list-style-type: none"> (a) the provision of projections and recesses in the façade which reflect changes in internal functions of buildings, including circulation (b) variations in material and building form (c) modulation in the façade, horizontally or vertically (d) articulation of building entrances and openings (e) corner treatments to address both street frontages (f) elements which assist in wayfinding and legibility, and (g) elements which relate to the context including surrounding buildings, parks, streets and open spaces. 	No acceptable outcome is nominated.
<p>PO9</p> <p>Roof form assists in reducing the appearance of building bulk by:</p> <ul style="list-style-type: none"> (a) articulating individual dwellings, and (b) incorporating variety in design through use of roof pitch, height, gables and skillions. 	No acceptable outcome is nominated.
Effects of development	
<p>PO10</p> <p>Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised, and (e) there is adequate buffering, screening or separation to adjoining development. 	
<p>PO11 All uses are located, designed, orientated and constructed to:</p> <ul style="list-style-type: none"> (a) minimise noise, dust, odour or other nuisance from existing lawful uses (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of land in the low density residential zone. 	No acceptable outcome is nominated.
Use – Shop or Food and Drink Outlet (where using an existing non-residential building)	
<p>PO12 Development is low impact and:</p> <ul style="list-style-type: none"> (a) limited in scale and size (b) complementary to local character and amenity (c) directly supports the day to day needs of the immediate residential community (d) located on a site which must adequately accommodate activity needs and space requirements, and (e) does not undermine the viability of nearby centres. 	No acceptable outcome is nominated.
<p>PO13 Development does not adversely impact on residential amenity.</p>	<p>A013 The use operates between:</p> <ul style="list-style-type: none"> (a) 7am and 7pm Monday to Saturday, and (b) 7am and 1pm on Sunday.

6.2.2 Low-medium density residential

6.2.2.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.2.2 Purpose

- (1) The purpose of the low-medium density residential zone is to provide for a range and mix of dwelling types including dwelling houses and various forms of low-rise multiple dwellings supported by some community uses and small-scale services and facilities that cater for local residents.

- (2) Residential development supports housing choice and affordability along with opportunities for residents to age in place through appropriate housing mix, location and design.
- (3) The purpose of the zone will be achieved through the following overall outcomes:
- (a) Development provides a range of residential dwelling choices or building types including dwelling houses, dwelling houses on narrow lots, dual occupancy and small scale multiple dwellings.
 - (b) Buildings are of a scale, height and size that reflect a low–medium density neighbourhood character through design elements that reduce building bulk and create an attractive streetscape.
 - (c) Development creates pleasant living environments that ensure privacy, access to sunlight, open space, ventilation and natural climate control.
 - (d) Development supports safe and walkable neighbourhoods that are well connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities.
 - (e) Small scale non–residential uses may be supported where such uses directly support the day to day needs of the immediate residential community, do not undermine the viability of nearby centres and complement residential amenity.
 - (f) Development is supported by employment nodes, community facilities and services, transport and commercial hubs in other zones.
 - (g) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.
 - (h) Development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling.
 - (i) Development is supported by necessary open space and recreational areas and appropriate infrastructure to support the needs of the local community.
 - (j) Development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting, overshadowing and other locally specific impacts.
 - (k) Development responds to land constraints, including but not limited to bushfire, flooding and minimising changes to natural topography.
 - (l) Development mitigates any adverse impacts on adjoining areas of environmental significance, including creeks, gullies, waterways, wetlands, coastal areas, habitats, vegetation and bushland through location, design, operation and management requirements.
 - (m) Residential development is protected from the impacts of any nearby industrial activities, transport corridors, infrastructure, installations and major facilities.

Assessment benchmarks

Table 6.2.2.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker's accommodation	
PO1 Development: (a) is ancillary to the primary use, and (b) provides adequate open space for the caretaker.	AO1.1 No more than one caretaker's accommodation unit is established on the site.
	AO1.2 The caretaker's accommodation unit is a maximum of 100m ² in GFA.

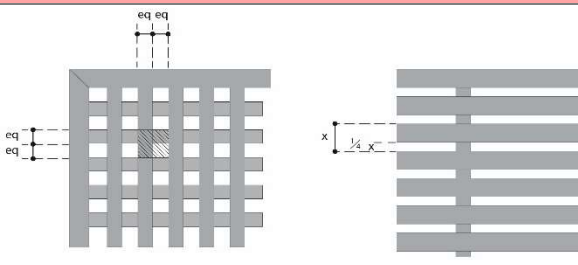
Performance outcomes	Acceptable outcomes
	<p>AO1.3</p> <p>Private open space area is provided which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m² with a minimum horizontal dimension of 1.25m.
Use – Sales office	
<p>PO2</p> <p>The use does not adversely impact on the amenity of the surrounding land uses and local character.</p>	<p>AO2.1</p> <p>Development of the sales office is in place for no more than 2 years.</p>
	<p>AO2.2</p> <p>The site coverage of the building is a maximum of 50% of the site area.</p>
	<p>AO2.3</p> <p>There are a maximum of 2 employees on site at any one time.</p>
	<p>AO2.4</p> <p>The use operates between 8am and 6pm Monday to Saturday and between 9am and 1pm on Sunday.</p>
Built form (if involving building work)	
<p>PO3</p> <p>Buildings:</p> <ul style="list-style-type: none"> (a) are low–medium rise (b) do not create unreasonable overshadowing on adjoining residential properties, and (c) do not adversely impact on the low–medium residential character and amenity of the area. <p>Note—One way to achieve the performance outcome are shadow diagrams where building height exceeds the corresponding acceptable outcome. These diagrams are to address the impacts of overshadowing between the hours of 9am to 3pm on 21 June.</p>	<p>AO3</p> <p>Building height does not exceed 8.5m and 2 storeys above ground level.</p>
<p>PO4</p> <p>Residential buildings:</p> <ul style="list-style-type: none"> (a) are proportionate to the size and street frontage of the site (b) protect low–medium density neighbourhood character (c) provide setbacks that maintain appropriate levels of light and solar penetration, air circulation, privacy and amenity for adjoining properties (d) provide for adequate open space and landscape areas (e) reduce building bulk, and 	<p>AO4</p> <p>Residential buildings are in accordance with the following building types:</p> <ul style="list-style-type: none"> (a) Figure 1—Dwelling house: Narrow lot (b) Figure 2—Dual occupancy (c) Figure 3—Multiple dwelling: Townhouses. <p>Note— Setbacks for Dwelling house and Dual occupancy in this zone are regulated in the Queensland Development Code MP1.1 and MP1.2.</p>

Performance outcomes	Acceptable outcomes
(f) allow casual surveillance of the street.	
Residential density	
PO5 Residential density provides for low to medium density residential development.	A05.1 Residential density is a maximum of: (a) 1 dwelling per lot where a dwelling house, or (b) 1 dwelling per 300m ² where a dual occupancy, or (c) 1 dwelling per 240m ² where a multiple dwelling.
	A05.2 Where a dwelling house, any secondary dwelling is: (a) a maximum of 80m ² GFA (b) located within 10m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.
Open space	
PO6 Development must provide sufficient and accessible open space for residents' needs.	A06.1 Open space is provided in accordance with the following building types: (a) Figure 1—Dwelling house: Narrow lot (b) Figure 2—Dual occupancy (c) Figure 3—Multiple dwelling: Townhouses.
	A06.2 Private open space is directly adjacent to the main living area.
Design and streetscape	
PO7 Driveways and parking areas including garages must not visually dominate the street.	A07.1 Car parking areas: (a) include 1 space in a garage and 1 uncovered space (or carport) on the driveway where a Dwelling house: narrow lot or each dwelling for Dual occupancy, or (b) are located behind the main building face where a Multiple dwelling (excluding visitor spaces).
	A07.2 Garages for any Dwelling house or Dual occupancy: (a) do not protrude in front of the main building face, and (b) occupy a maximum of 50% of the site frontage.
	A07.3 Vehicle access is provided through a: (a) single driveway for any Dwelling house or Multiple dwelling (b) 1 paired driveway for Dual occupancy; or (c) or rear lane access.

Performance outcomes	Acceptable outcomes
For all assessable development	
Housing mix (where development for multiple dwelling)	
PO8 Development provides a mix of housing sizes to meet housing needs across the community.	AO8 Development of 15 or more dwellings includes the following proportion of dwelling sizes: (a) 25% – 1 bedroom or studio (b) 40% – 2 bedrooms (c) 15% – 3 bedrooms or more and (d) remaining 20% is unrestricted.
Design and streetscape	
PO9 Development has a high quality appearance and makes a positive contribution to the streetscape.	AO9.1 A landscape area with a minimum dimension of 1.5m is provided along any road frontage.
	AO9.2 For any multiple dwelling, balconies or verandas occupy a minimum of 50% of the building facade fronting the street.
PO10 Pedestrian entries: (a) are visible from the street and visitor car parking areas (b) are separate to vehicle access points (c) incorporate sun and rain shelter, such as overhangs or awnings, and (d) are defined by human scale design elements (such as, doors, windows, awnings, a portico, landscaping, etc).	No acceptable outcome is nominated.
PO11 Buildings must be orientated to facilitate casual surveillance of the street and any adjoining public space. Note—This applies to all street frontages where development fronts more than one street.	AO11 Buildings fronting a street or public space include the following features: (a) large windows associated with living areas, or (b) balconies or verandas.

Performance outcomes	Acceptable outcomes
<p>PO12</p> <p>Development facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) opportunities for casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of entrapment locations, and (f) building entrances, loading and storage areas that are well lit and lockable after hours. <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
<p>PO13</p> <p>Design elements contribute to an interesting and attractive building through:</p> <ul style="list-style-type: none"> (a) the provision of projections and recesses in the façade which reflect changes in internal functions of buildings, including circulation (b) variations in materials and building form (c) modulation in the façade, horizontally or vertically (d) articulation of building entrances and openings (e) corner treatments to address both street frontages (f) elements which assist in wayfinding and legibility, and (g) elements which relate to the context including surrounding buildings, parks, streets and open spaces. 	No acceptable outcome is nominated.
<p>PO14</p> <p>Roof form assists in reducing the appearance of building bulk by:</p> <ul style="list-style-type: none"> (a) articulating individual dwellings, and (b) incorporating variety in design through use of roof pitch, height, gables and skillions. 	No acceptable outcome is nominated.
<p>PO15</p> <p>Building design and site layout optimise accessibility and convenience for users, particularly pedestrians.</p>	No acceptable outcome is nominated.
Open space	
<p>PO16</p> <p>Open space is oriented to maximise solar access.</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO17 Communal open space is: <ul style="list-style-type: none"> (a) designed to provide useable areas for communal activities such as clothes drying and social interaction, and (b) is not dominated by landscaping. 	No acceptable outcome is nominated.
Amenity	
PO18 Habitable spaces must not directly overlook dwellings on adjacent land.	AO18 Habitable room windows of a dwelling unit are separated a minimum of 9m from a habitable room window or private open space of another dwelling unit unless: <ul style="list-style-type: none"> (a) windows have translucent glazing or sill heights of at least 1.5m, or (b) there is a 1.8m high dividing fence at ground level (c) outlook from windows, balconies, and terraces of a dwelling unit is screened where screening is: <ul style="list-style-type: none"> (i) a permanent screen or perforated panels or trellises which have a maximum of 50% openings, and (ii) permanent and fixed, and designed to complement the development. <p>Note—Refer below to Diagram 1—Privacy.</p>
	<p>The diagram illustrates a privacy screening requirement between two dwellings. Two grey rectangular blocks represent the dwellings. Between them is a green-shaded area representing the ground. A vertical line labeled 'Privacy Screen' is positioned between the dwellings. A dimension line indicates the screen is 1.8m high. Another dimension line indicates the screen is 1.5m wide. On the right dwelling, a horizontal dashed line indicates a window sill height of 1.5m. Below the ground level, two vertical lines extend to the bottom, with dimension lines indicating a 1.5m distance from the center of the screen to the center of each dwelling's base.</p>

Performance outcomes	Acceptable outcomes
	 <div style="display: flex; justify-content: space-around; margin-top: 10px;"> Lattice Batterns </div>
PO19 Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on-site environment and provide shading. Note—Applicants are also referred to the Landscaping code.	No acceptable outcome is nominated.
PO20 Outdoor activity, plant equipment, waste, storage and servicing areas are screened from adjoining properties and from the street.	AO20 Outdoor activity, plant equipment, waste, storage and servicing areas are: <ul style="list-style-type: none"> (a) not located adjacent to any road frontage, and (b) screened from public view by either: <ul style="list-style-type: none"> (i) a 1.8m high solid wall or fence, constructed in materials and colours compatible with the main building on site, or (ii) mature landscaping that has the same effect as a 1.8m high wall.
Effects of development	
PO21 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage line is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
PO22 Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to:	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(a) noise (b) traffic and parking (c) visual impact (d) signage (e) odour and emissions, and (f) lighting. Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.	
PO23 Development is located to: (a) minimise noise, dust, odour or other nuisance from existing lawful uses, and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of land in the Low-medium density residential zone.	No acceptable outcome is nominated.
PO24 Residential development where located near port facilities, major industries and major infrastructure must mitigate the operational effects including: (a) using air-conditioning or energy-efficient ventilation, where necessary, to minimise the effects of odours and emissions, and (b) comprehensive on site landscaping to provide visual relief from the industrial landscape.	No acceptable outcome is nominated.
Uses – Child care centre, Community care centre or Community use	
PO25 Development is low impact, limited in scale and: (a) compatible with neighbouring residential uses and complementary to local character (b) incorporates design elements that are consistent with the surrounding residential development (c) supports the day to day needs of residents (d) located on a site which must adequately accommodate activity needs and space requirements (e) does not undermine the viability of nearby centres, and (f) located to minimise exposure of future occupants and employees to impacts associate with existing infrastructure.	No acceptable outcome is nominated.

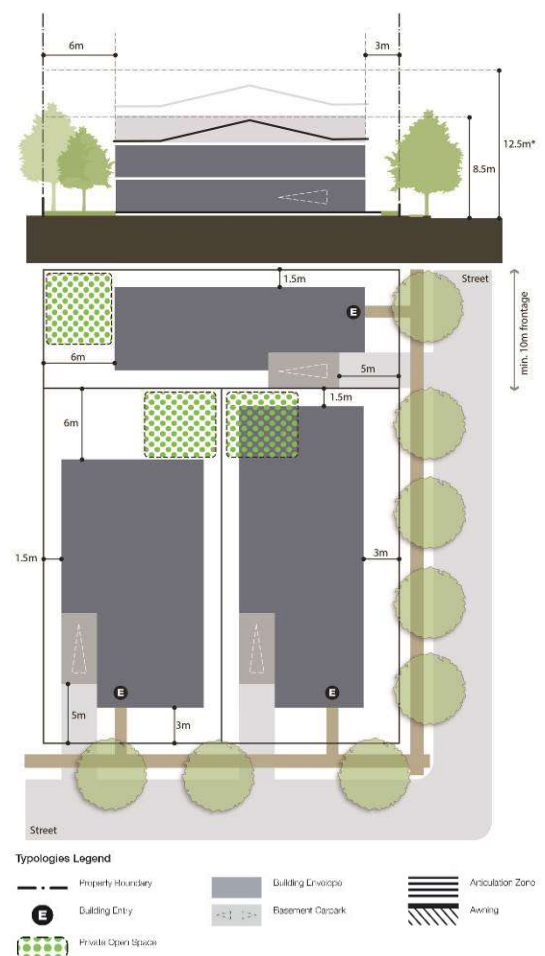
Performance outcomes	Acceptable outcomes
PO26 Development is highly accessible and is co-located with, or located close to, centres or other community or recreation uses.	No acceptable outcome is nominated.
PO27 Development does not adversely impact on the amenity of the area.	AO27 Hours of operation for non-residential development are limited to between 6am and 7pm daily.
PO28 Buildings are located on the site to maximise the residential amenity of residents and neighbours.	AO28 Buildings are setback a minimum of: (a) 6m from the front and rear boundary, and (b) 3m from the side boundary.
PO29 Development ensures residential amenity is maintained on adjoining properties.	AO29 Development provides a 1.8m acoustic screen fence where adjoining a residential use.
PO30 Where a child care centre, development minimises: (a) the hazards of heavy traffic (b) introduction of non-local traffic into minor, residential streets, and (c) on-site conflict between children's activities, pedestrian movement, vehicle movement and car parking.	AO30.1 Where a child care centre, the site is not located on: (a) arterial/sub-arterial routes, or (b) an access street or access place.
	AO30.2 Parking spaces are located so that children are not required to cross the driveway or vehicular access way to reach the building.
Use – Shop or Food and Drink outlet (where using an existing non-residential building)	
PO31 Development is low impact and: (a) limited in scale and size (b) complementary to local character and amenity (c) directly supports the day to day needs of the immediate residential community (d) located on a site which must adequately accommodate activity needs and space requirements, and (e) does not undermine the viability of nearby centres.	No acceptable outcome is nominated.
PO32 Development does not adversely impact on residential amenity.	AO32 The use operates between: (a) 7am and 7pm Monday to Saturday, and (b) 7am and 1pm on Sunday.

6.2.2.2.1 Figure 1—Dwelling house: Narrow lot

This form of detached housing enables compact dwelling forms with setbacks that provide natural light and ventilation to habitable rooms and open space for deep planting.



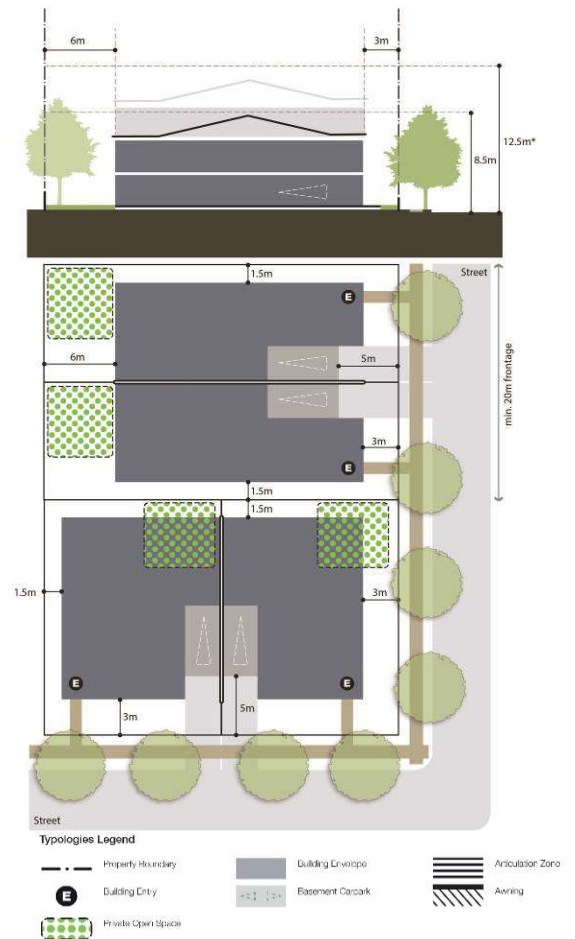
Element		Acceptable solutions
1.1	Minimum frontage	10m
1.2	Minimum area	400m ²
1.3	Maximum site cover	50%
1.4	Minimum private open space	50m ² with a minimum dimension of 6.0m in any direction.
1.5	Minimum setbacks	Front 3m (OMP and including all street frontages where a corner lot). 5m to garage.
		Rear 6m (where not on a corner lot).
		Side 1.5m not including eaves.
1.6	Built to boundary walls	Limited to 1 side boundary and must contain no windows, openings or glazing. Maximum length 10m and maximum height 3.5m.



6.2.2.2.2 Figure 2—Dual occupancy

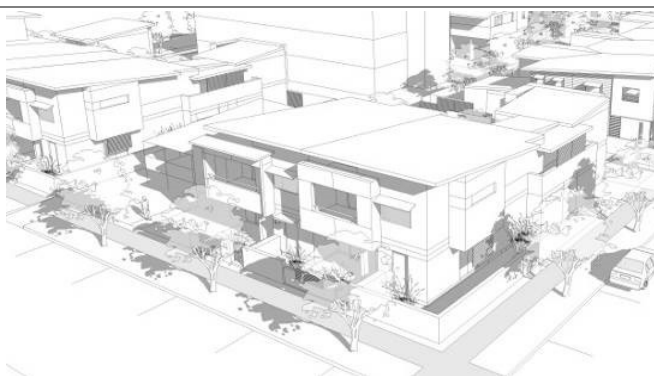
These are paired dwellings that share a single internal wall and are visually similar to a dwelling house when viewed from the street.

Element		Acceptable solutions
2.1	Minimum frontage	20m
2.2	Minimum area	600m ²
2.3	Maximum site cover	60%
2.4	Minimum private open space	50m ² with a minimum dimension of 5.0m in any direction.
2.5	Minimum setbacks	Front 3m (OMP and including all street frontages where a corner lot). 5m to garage.
		Rear 6m (where not on a corner lot).
		Side 1.5m not including eaves.
2.6	Built to boundary walls	Limited to 1 side boundary and must contain no windows, openings or glazing. Maximum length 10m and maximum height 3.5m.

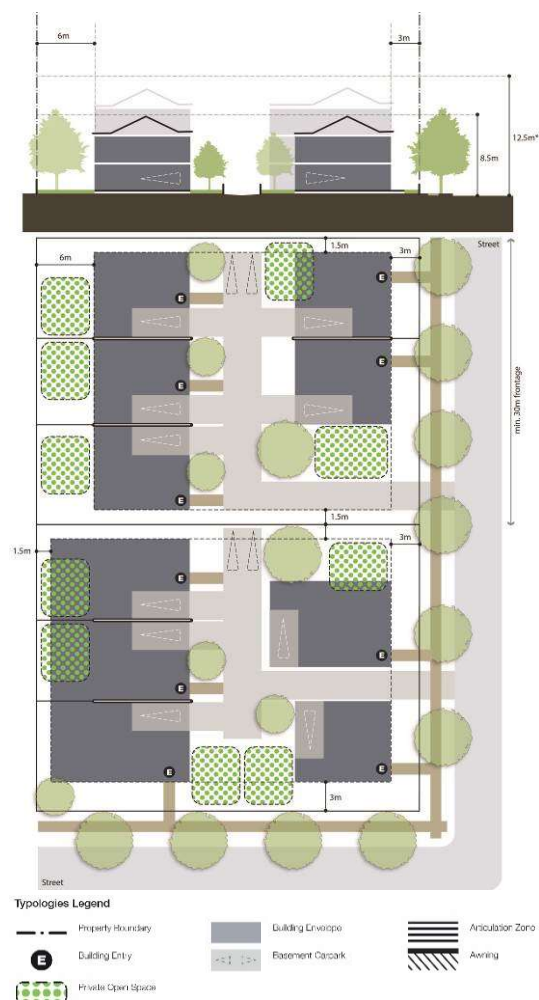


6.2.2.2.3 Figure 3—Multiple dwelling: Townhouses

This building type provides for attached dwellings at a low medium density on larger lots where street frontage is limited. Their compatibility with other lower density housing in terms of height and scale makes them ideal for integration into new neighbourhoods or existing residential areas. Vehicle access is from a single driveway with an internal road to car accommodation which is concealed with a building.



Element		Acceptable solutions
3.1	Minimum frontage	30m
3.2	Minimum area	1,200m ²
3.3	Maximum site cover	50%
3.4	Minimum open space	30m ² private open space per dwelling with a minimum dimension of 5m in any direction.
		Development greater than 18 dwelling provides a minimum communal open space area of 50m ² with a minimum dimension of 10m.
3.5	Minimum setbacks	Front 3m (OMP and including all street frontages where a corner lot). 5m to any garage on a street frontage.
		Rear 6m (where not on a corner lot).
		Side 1.5m not including eaves.
3.6	Built to boundary walls	Limited to 1 side boundary and must contain no windows, openings or glazing. Maximum length 10m and maximum height 3.5m.
3.7	Built form and streetscape	Maximum of 4 dwellings in a row without separation.



6.2.3 Medium density residential

6.2.3.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.3.2 Purpose

- (1) The purpose of the medium density residential zone code is to provide for medium density multiple dwellings and some other housing forms supported by community uses and small-scale services and facilities that cater for local residents. Medium density residential development occurs in urban revitalisation areas and in areas that are clustered around or near major centres and transport nodes.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Development encourages and facilitates urban consolidation and the efficient use of physical and social infrastructure.
 - (b) Buildings are of a scale, height and size that reflect a medium density neighbourhood character through design elements that reduce building bulk and create an attractive streetscape.
 - (c) Development creates pleasant living environments that ensure privacy, access to sunlight, open space, ventilation and natural climate control.
 - (d) Development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling.
 - (e) Development supports safe and walkable neighbourhoods that are well connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities in other zones.
 - (f) Development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting, overshadowing and other locally specific impacts.
 - (g) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.
 - (h) Small scale non-residential uses may be supported where such uses directly support the day to day needs of the immediate residential community, do not undermine the viability of nearby centres and complement residential amenity.
 - (i) Development is supported by necessary community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community.
 - (j) Development responds to land constraints, including but not limited to bushfire, flooding and minimising changes to natural topography.
 - (k) Development mitigates any adverse impacts on adjoining areas of environmental significance, including creeks, gullies, waterways, wetlands, coastal areas, habitats, vegetation and bushland through location, design, operation and management requirements.
 - (l) Residential development is protected from the impacts of any nearby industrial activities, transport corridors, infrastructure, installations and major facilities.
- (3) The purpose of the zone will also be achieved through the following additional overall outcome for the following precinct:
 - (a) Gladstone Hospital precinct:
 - (i) development facilitates a mix of residential and small scale non-residential uses where in proximity to the Gladstone hospital
 - (ii) non-residential uses are limited to health care and medical related services or uses that support the Gladstone hospital.
 - (b) Beaches Village Circuit precinct:

- (i) Development achieves a mix of medium density short and long term accommodation uses for residents and tourists.
- (ii) Buildings reflect the coastal architectural qualities of the Agnes Water area and minimises the visual impact on the water and its views.
- (iii) Development does not encourage detached dwelling houses on smaller residential lots or commercial uses better suited within the Agnes Water CBD.
- (iv) Development encourages larger lots which facilitate a medium density built form outcome.

6.2.3.3 Assessment benchmarks

Table 6.2.3.3.1— Accepted development subject to requirements and assessable development

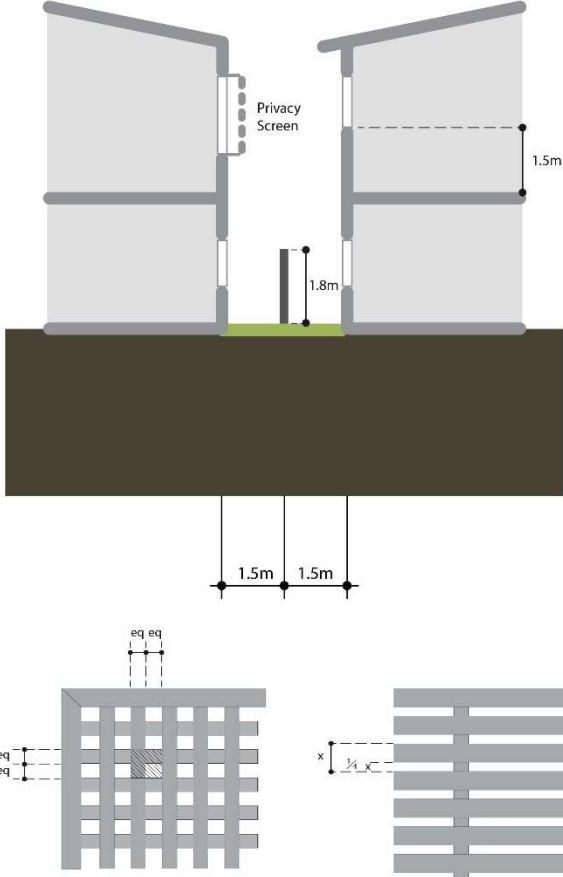
Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development: (a) is ancillary to the primary use, and (b) provides adequate open space for the caretaker.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 The caretaker’s accommodation unit is a maximum of 100m ² GFA.
	AO1.3 Private open space area is provided which: (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
Use – Sales office	
PO2 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO2.1 Development of the sales office is in place for no more than 2 years.
	AO2.2 The site coverage of the building is a maximum of 50% of the site area.
	AO2.3 There are a maximum of 2 employees on site at any one time.
	AO2.4 The use operates between: (a) 8am and 6pm Monday to Saturday, and (b) 9am and 1pm on Sunday.
Built form (if involving building work)	
PO3 Buildings: (a) are medium rise, and (b) do not create overshadowing on adjoining residential properties, and	AO3 Building height does not exceed that shown on the Building height and frontages overlay map.

Performance outcomes	Acceptable outcomes
(c) do not adversely impact on the medium density residential character and amenity of the area.	
PO4 Residential buildings: <ul style="list-style-type: none"> (a) are proportionate to the size and street frontage of the site (b) protect medium density neighbourhood character (c) provide setbacks that maintain appropriate levels of light and solar penetration, air circulation, privacy and amenity for adjoining properties (d) provide for adequate open space and landscape areas (e) reduce building bulk, and (f) allow casual surveillance of the street. 	AO4 Development is in accordance with the following building types: <ul style="list-style-type: none"> (a) Figure 1—Dwelling house: Narrow lot (b) Figure 2—Dual occupancy (c) Figure 3—Multiple dwelling: Townhouses (d) Figure 4—Multiple dwelling: Medium rise apartment. <p>Note—Setbacks for a dwelling house on a standard lot are regulated in the Queensland Development Code.</p>
Residential density	
PO5 Residential density reflects the medium density residential character of the area.	AO5.1 Residential density is a maximum of: <ul style="list-style-type: none"> (a) 1 dwelling house (including 1 secondary dwelling) per lot where a dwelling house (b) or 1 dwelling per 300m² where a dual occupancy. <p>Note—There is no maximum residential density where Multiple dwelling.</p>
	AO5.2 Where a dwelling house, any secondary dwelling is: <ul style="list-style-type: none"> (a) a maximum of 80m² GFA (b) located within 10m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.
Open space	
PO6 Development must provide sufficient and accessible open space for residents needs.	AO6.1 Open space is provided in accordance with the following building types: <ul style="list-style-type: none"> (a) Figure 1—Dwelling house: Narrow lot (b) Figure 2—Dual occupancy (c) Figure 3—Multiple dwelling: Townhouses (d) Figure 4—Multiple dwelling: Medium rise apartment.
	AO6.2 Private open space is directly adjacent to the main living area.

Performance outcomes	Acceptable outcomes
Design and streetscape	
PO7 Driveways and parking areas including garages must not visually dominate the street.	A07.1 Car parking areas: <ul style="list-style-type: none"> (a) include 1 space in a garage and 1 uncovered space (or carport) on the driveway where a Dwelling house: Narrow lot or a Dwelling in a Dual occupancy, or (b) are located behind the main building face where a Multiple dwelling (excluding visitor spaces).
	A07.2 Garages for any Dwelling house or Dual occupancy do not protrude in front of the main building face and occupy a maximum of 50% of the site frontage.
	A07.3 Vehicle access is provided through a: <ul style="list-style-type: none"> (a) single driveway for any Dwelling house or Multiple dwelling (b) 1 paired driveway for Dual occupancy, or (c) by rear lane access.
For all assessable development	
Housing mix (where development for multiple dwelling)	
PO8 Development provides a mix of housing sizes to meet housing needs across the community.	A08 Development of 15 or more dwellings includes the following proportion of dwelling sizes: <ul style="list-style-type: none"> (a) 25% – 1 bedroom or studio (b) 40% – 2 bedrooms (c) 15% – 3 bedrooms or more (d) remaining 20% is unrestricted.
Design and streetscape	
PO9 Development has a high quality appearance and makes a positive contribution to the streetscape.	A09.1 A landscape area a minimum dimension of 1.5m is provided along the full frontage of any road frontage.
	A09.2 For any multiple dwelling, balconies or verandas occupy a minimum of 50% of the building facade fronting the street.

Performance outcomes	Acceptable outcomes
<p>PO10</p> <p>Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas (b) are separate to vehicle access points (c) incorporate sun and rain shelter, such as overhangs or awnings, and (d) are defined by human scale design elements (such as, doors, windows, awnings, a portico, landscaping, etc). 	<p>No acceptable outcome is nominated.</p>
<p>PO11</p> <p>Buildings must be orientated to the street or public space and facilitate casual surveillance of the street and any adjoining public space.</p> <p>Note—This applies to all street frontages where development fronts more than one street.</p>	<p>AO11</p> <p>Buildings include the following features where facing the street or public space:</p> <ul style="list-style-type: none"> (a) large windows associated with living areas, or (b) balconies or verandas.
<p>PO12</p> <p>Development facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) opportunities for casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of entrapment locations, and (f) building entrances, loading and storage areas that are well lit and lockable after hours. <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
PO13 Design elements contribute to an interesting and attractive building through: <ul style="list-style-type: none"> (a) the provision of projections and recesses in the façade which reflect changes in internal functions of buildings, including circulation (b) variations in materials and building form (c) modulation in the façade, horizontally or vertically (d) articulation of building entrances and openings (e) corner treatments to address both street frontages (f) elements which assist in wayfinding and legibility, and (g) elements which relate to the context including surrounding buildings, parks, streets and open spaces. 	No acceptable outcome is nominated.
PO14 Roof form assists in reducing the appearance of building bulk by: <ul style="list-style-type: none"> (a) articulating individual dwellings, and (b) incorporating variety in design through use of roof pitch, height, gables and skillions. 	No acceptable outcome is nominated.
PO15 Building design and site layout, optimise accessibility and convenience for users, particularly pedestrians.	No acceptable outcome is nominated.
Open space	
PO16 Open space is oriented to maximise solar access.	No acceptable outcome is nominated.
PO17 Communal open space is: <ul style="list-style-type: none"> (a) designed to provide useable areas for communal activities such as clothes drying and social interaction, and (b) is not dominated by landscaping. 	No acceptable outcome is nominated.
Amenity	
PO18 Habitable spaces must not directly overlook dwellings on adjacent land.	AO18 Habitable room windows of a dwelling unit are separated a minimum of 9m from a habitable room window or private open space of another dwelling unit unless: <ul style="list-style-type: none"> (a) windows have translucent glazing or sill heights of at least 1.5m, or

Performance outcomes	Acceptable outcomes
	<p>(b) there is a 1.8m high dividing fence at ground level</p> <p>(c) outlook from windows, balconies, and terraces of a dwelling unit is screened where screening is:</p> <ul style="list-style-type: none"> (i) a permanent screen or perforated panels or trellises which have a maximum of 50% openings, and (ii) permanent and fixed, and designed to complement the development. <p>Note—Refer below to Diagram 1—Privacy.</p>
	 <p style="text-align: center;">Lattice Batterns</p>
<p>PO19</p> <p>Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on-site environment and provide shading.</p> <p>Note—Applicants are also referred to the Landscaping code.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO20</p> <p>Plant equipment, waste, storage and servicing areas are screened from adjoining properties and from the street.</p>	<p>AO20</p> <p>Plant equipment, waste, storage and servicing areas are:</p> <ul style="list-style-type: none"> (a) not located adjacent to any road frontage, and (b) screened from public view by either:

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> (i) a 1.8m high solid wall or fence, constructed in materials and colours compatible with the main building on site, or (ii) mature landscaping that has the same effect as a 1.8m high wall.
Effects of development	
<p>PO21</p> <p>Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
<p>PO22</p> <p>Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) traffic and parking (c) visual impact (d) signage (e) odour and emissions, and (f) lighting. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	No acceptable outcome is nominated.
<p>PO23</p> <p>Development is to:</p> <ul style="list-style-type: none"> (a) minimise noise, dust, odour or other nuisance from existing lawful uses, and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of land in the Medium density residential zone. 	No acceptable outcome is nominated.
<p>PO24</p> <p>Residential development where located near port facilities, major industries and major</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>infrastructure must mitigate the operational effects including:</p> <ul style="list-style-type: none"> (a) using air-conditioning or other energy-efficient ventilation, where necessary, to minimise the effects of odours and emissions, and (b) comprehensive on site landscaping to provide visual relief from the industrial landscape. 	
Uses – Child care centre, Community care centre or Community use	
<p>PO25</p> <p>Development is low impact, limited in scale and:</p> <ul style="list-style-type: none"> (a) compatible with neighbouring residential uses and complementary to local character (b) incorporates design elements that are consistent with the surrounding residential development (c) supports the day to day needs of residents (d) located on a site which must adequately accommodate activity needs and space requirements, and (e) does not undermine the viability of nearby centres. 	No acceptable outcome is nominated.
<p>PO26</p> <p>Development is highly accessible and is co-located with, or located close to, centres or other community or recreation uses.</p>	No acceptable outcome is nominated.
<p>PO27</p> <p>Development does not adversely impact on the amenity of area.</p>	<p>AO27</p> <p>Hours of operation for non-residential development is limited to between 6am and 7pm daily.</p>
<p>PO28</p> <p>Buildings are located on the site to maximise the residential amenity of residents and neighbours.</p>	<p>AO28</p> <p>Buildings are setback a minimum of:</p> <ul style="list-style-type: none"> (a) 6m from the front and rear boundary, and (b) 3m from the side boundary.
<p>PO29</p> <p>Development must ensure residential amenity is maintained on adjoining properties.</p>	<p>AO29</p> <p>Development provides a 1.8m acoustic screen fence where adjoining a residential use.</p>
<p>PO30</p> <p>Where a child care centre, development minimises:</p> <ul style="list-style-type: none"> (a) the hazards of heavy traffic (b) introduction of non-local traffic into minor, residential streets, and 	<p>AO30.1</p> <p>Where a child care centre, the site is not located on:</p> <ul style="list-style-type: none"> (a) arterial/sub-arterial routes, or (b) an access street or access place.

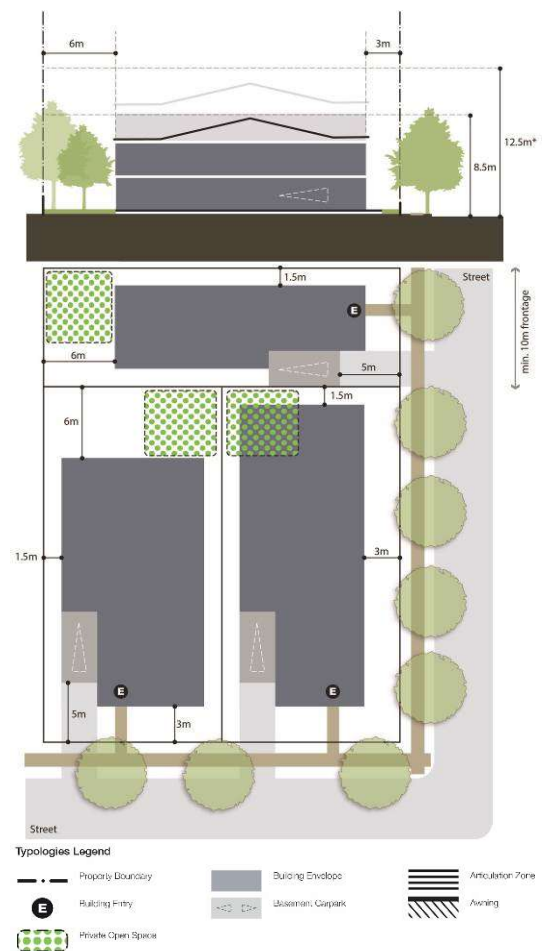
Performance outcomes	Acceptable outcomes
(c) on-site conflict between children's activities, pedestrian movement, vehicle movement and car parking.	AO30.2 Parking spaces are located so that children are not required to cross the driveway or vehicular access way to reach the building.
If in the Gladstone hospital precinct	
PO31 Non-residential development must: (a) not adversely impact on residential amenity (b) be compatible with the intended built form for the area (c) complement the role and function of the Gladstone hospital (d) integrate with residential uses, and (e) not undermine the viability of nearby centres.	No acceptable outcome is nominated.
PO32 Non-residential development is limited in scale and incorporates design elements that reflect the medium density residential character of the area.	AO32.1 Non-residential development is a maximum of 100m ² GFA.
	AO32.2 Non-residential development occurs on the ground floor level of buildings.
If in the Beaches village circuit precinct	
PO33 Development provides for building, structures and landscaping that are consistent with, and reflect and enhance the coastal urban character and architectural qualities of the Agnes Water locality in terms of form, composition and materials.	AO33.1 Development provides for building design which incorporates the following features: (a) a mix of lightweight and textured external building materials, including timber finishes or masonry construction with construction provided in texture and detailing; (b) articulated, pitched, skillion or curved roof forms; (c) open or transparent balustrades; and (d) landscaping integrated into the building design.
	AO33.2 Development uses understated colour schemes and low-reflective roofing and cladding materials.

6.2.3.3.1 Figure 1—Dwelling house: Narrow lot

This form of detached housing enables compact dwelling forms with setbacks that provide natural light and ventilation to habitable rooms and open space for deep planting.



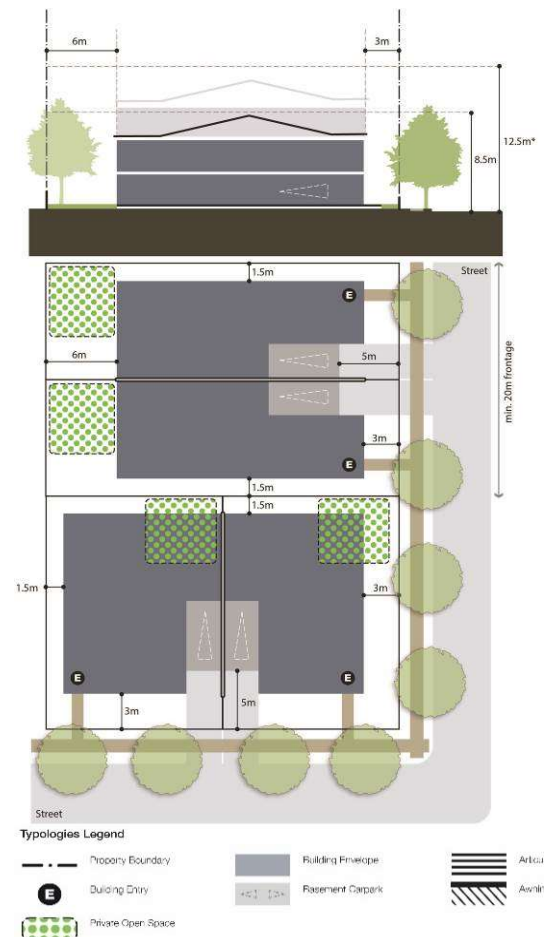
Element		Acceptable solutions
1.1	Minimum frontage	10m
1.2	Minimum area	400m ²
1.3	Maximum site cover	50%
1.4	Minimum private open space	50m ² with a minimum dimension of 6.0m in any direction.
1.5	Minimum setbacks	Front
		3m (OMP and including all street frontages where a corner lot). 5m to garage.
		Rear
		6m (where not on a corner lot).
	Side	1.5m not including eaves.
1.6	Built to boundary walls	Limited to 1 side boundary and must contain no windows, openings or glazing. Maximum length 10m and maximum height 3.5m.



6.2.3.3.2 Figure 2—Dual occupancy

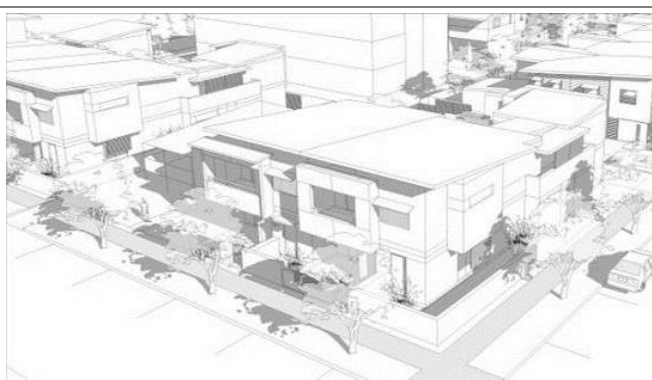
These are paired dwellings that share a single internal wall and are visually similar to a dwelling house when viewed from the street.

Element		Acceptable solutions
2.1	Minimum frontage	20m
2.2	Minimum area	600m ²
2.3	Maximum site cover	60%
2.4	Minimum private open space	50m ² with a minimum dimension of 5.0m in any direction.
2.5	Minimum setbacks	Front
		3m (OMP and including all street frontages where a corner lot).
		5m to garage.
		Rear
		6m (where not on a corner lot).
		Side
		1.5m not including eaves.
2.6	Built to boundary walls	Limited to 1 side boundary and must contain no windows, openings or glazing. Maximum length 10m and maximum height 3.5m.



6.2.3.3.3 Figure 3—Multiple dwelling: Townhouses

This building type provides for attached dwellings at a low medium density on larger lots where street frontage is limited. Their compatibility with other lower density housing in terms of height and scale makes them ideal for integration into new neighbourhoods or existing residential areas. Vehicle access is from a single driveway with an internal road to car accommodation which is concealed with a building.



Element		Acceptable solutions
3.1	Minimum frontage	30m
3.2	Minimum area	1,200m ²
3.3	Maximum site cover	50%
3.4	Minimum open space	30m ² private open space per dwelling with a minimum dimension of 5.0m in any direction.
		Development greater than 18 dwelling provides a minimum communal open space area of 50m ² with a minimum dimension of 10m.
3.5	Minimum setbacks	Front 3m (OMP and including all street frontages where a corner lot). 5m to any garage on a street frontage.
		Rear 6m (where not on a corner lot).
		Side 1.5m not including eaves.
3.6	Built to boundary walls	Limited to 1 side boundary and must contain no windows, openings or glazing. Maximum length 10m and maximum height 3.5m.
3.7	Built form and streetscape	Maximum of 4 dwellings in a row without separation.

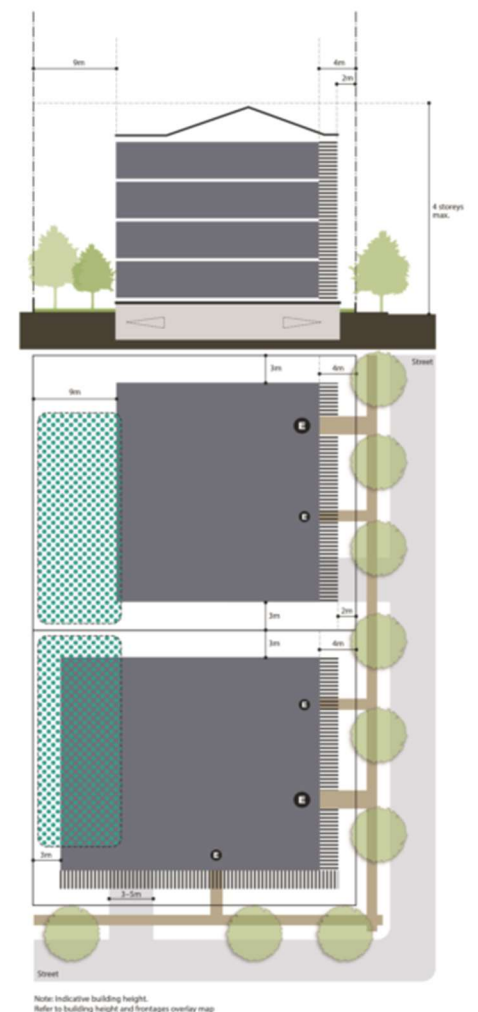


6.2.3.3.4 Figure 4—Multiple dwelling: Medium rise apartment

Medium scale apartment buildings provide significant increases in density and diversity in a compact urban form. They are located in identified urban infill areas where located close to shops and services. Parking is located in a form of basement configuration within the building.



Element		Acceptable solutions	
4.1	Minimum frontage	30m	
4.2	Minimum area	1,000m ²	
4.3	Maximum site cover	60%	
4.4	Open space	Minimum private open space of 16m ² per dwelling with a minimum dimension of 3m in any direction.	
		Ground level courtyards can be raised a maximum of 900mm above footpath level.	
		Minimum communal open space of 20% of the site area which is open to the sky and with a minimum dimension of 5m in any direction.	
4.5	Minimum setbacks	Front	4m to main face of building (2m to OMP).
		Rear	9m to OMP (where not on a corner lot).
		Side	3m not including eaves (9m where balconies overlook side boundary).
4.6	Built to boundary walls	Limited to 1 side boundary and must contain no windows, openings or glazing. Maximum length 10m and maximum height 3.5m.	



6.2.4 Character residential

6.2.4.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.4.2 Purpose

- (1) The purpose of the character residential zone code is to ensure that development recognises and respects the important scenic and heritage character of the Town of Seventeen Seventy and the natural landscape and existing coastal development character of the Springs Beach/Red Rock area, south of Agnes Water, by supporting a built form that:
 - (a) Exemplifies the existing natural landscape and coastal character of these areas; and
 - (b) Minimises visual impacts and prevents buildings from dominating the natural landscape; and.
 - (c) Is interspersed and sympathetically sited amongst the coastal landscape and bushland elements.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Development recognises and protects the important scenic and heritage character by promoting the use of light-weight building materials, generous roof forms, building articulation and overhangs.
 - (b) Development is in the form of individual detached buildings, small-scale in size and low-rise in height.
 - (c) Development maximises the retention of existing native vegetation where possible.
 - (d) Development respects the topography of the locality by ensuring buildings follow the contours of the land and minimise disturbance of the natural ground form.
 - (e) Development is designed to maximise energy efficiency and water conservation.
 - (f) Non-residential uses may be supported where such uses provide for the day to-day needs of the immediate residential community, do not detract from the character, and do not undermine the viability of nearby centres.
 - (g) Small scale short term accommodation may be appropriate to support tourism activities only where in an existing building.
 - (h) Development responds to land constraints including topography, limited access, bushfire and flooding constraints.
 - (i) Development mitigates any adverse impacts on adjoining areas of environmental significance, including creeks, gullies, waterways, wetlands, coastal areas, habitats, vegetation and bushland through location, design, operation and management requirements.

6.2.4.3 Assessment benchmarks

Table 6.2.4.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker's accommodation	
PO1 Development is: (a) ancillary to the primary use, and (b) does not compromise the low density character of the locality.	AO1.1 No more than 1 caretaker's accommodation unit is established on the site.
	AO1.2 Development is a maximum of 100m ² GFA.

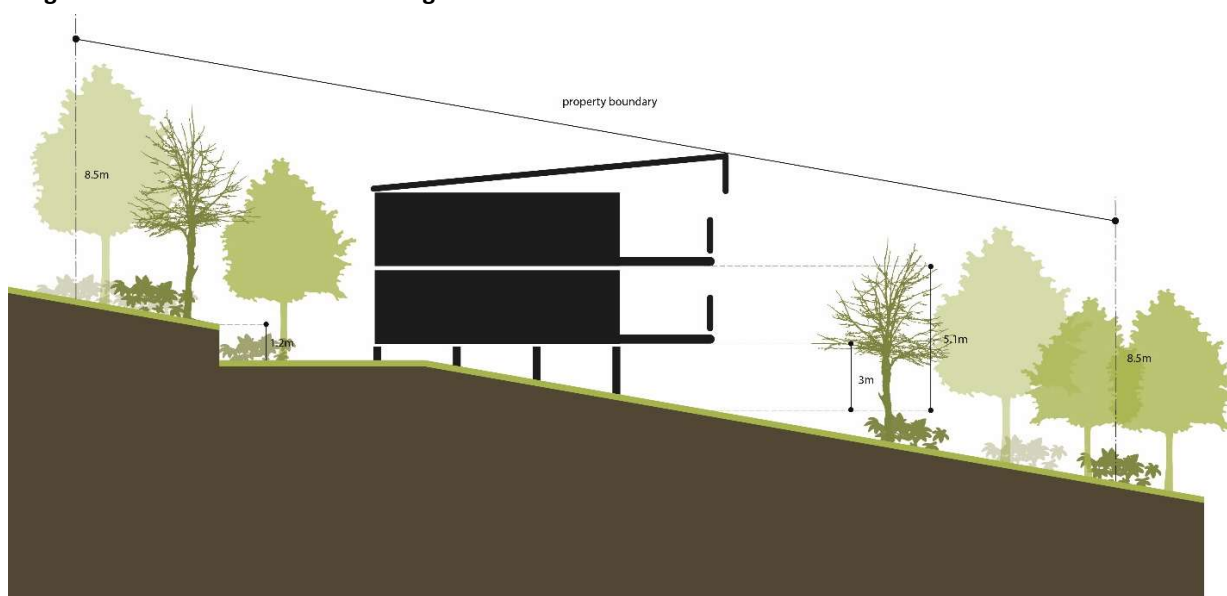
Performance outcomes	Acceptable outcomes
Built form (if involving building work)	
PO2 Buildings are: <ul style="list-style-type: none"> (a) low rise (b) low density (c) of a size and scale that ensures the built form does not dominate natural landscape values, and (d) designed and located so as not to adversely impact on the coastal and visual character of the area. 	AO2.1 Building height does not: <ul style="list-style-type: none"> (a) exceed 8.5m and 2 storeys, and (b) protrude above any horizon, ridge or spur line when viewed from any place on the coastline (beach or headlands) or from the ocean. Note—Refer also to Diagram 6.2.4.3.1—Character dwelling house.
	AO2.2 The floor level of the upper most habitable level is no greater than 5.1m above ground level at any point. Note—Refer also to Diagram 6.2.4.3.1—Character dwelling house.
	AO2.3 The floor of the first habitable level including decks and verandas is no greater than 3m above ground level at any point. Note—Refer also to Diagram 6.2.4.3.1—Character dwelling house.
	AO2.4 The maximum footprint for all buildings including any outbuildings, swimming pools or other structures is: <ul style="list-style-type: none"> (a) 400m² on lot sizes 800m² – 1499m², or (b) 450m² on lot sizes 1500m² – 2499m², or (c) 500m² on lots greater than 2500m².
PO3 Buildings are located on the site to: <ul style="list-style-type: none"> (a) to maximise the residential amenity of residents and neighbours (b) maximise retention of native vegetation, and (c) provide areas for landscaping to screen the building. 	AO3.1 Buildings are setback a minimum of 6m from the front and rear boundaries. Note—A carport may be built in the 6m front setback where the maximum height is 3.5m.
	AO3.2 Side boundary setbacks for any building or structure are a minimum of 4m. Note—Side boundary setbacks are measured to the building wall.
	AO3.3 Where dual occupancy, dwellings are separated by a minimum of 6m. Note—Buildings can be linked by one unenclosed veranda or walkway.
Residential density	
PO4 Residential density reflects the low density character of the locality.	AO4.1 Residential density is a maximum of <ul style="list-style-type: none"> (a) 1 Dwelling house (including 1 secondary dwelling) per allotment; or (b) 1 dwelling unit per 400m² where a Dual occupancy.

Performance outcomes	Acceptable outcomes
	AO4.2 Where a dwelling house, any secondary dwelling is: <ul style="list-style-type: none"> (a) a maximum of 80m² GFA (b) located within 50m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.
Character	
PO5 Buildings reflect the coastal character of the zone through open frame architecture including verandas/decks, eaves and the use of lightweight construction materials.	AO5.1 Buildings: <ul style="list-style-type: none"> (a) include suspended floors (b) use sheet material finishes such as timber and fibre cement for external cladding (c) limit masonry construction so that no masonry walls exceed 4.5m above ground level and: <ul style="list-style-type: none"> (i) are rendered and painted, or (ii) where constructed of local stone left unfinished; and (iii) incorporate appropriate articulation (d) include roofing comprised of lightweight and non-reflective sheet materials.
	AO5.2 Eaves extend a minimum of 0.6m from the wall.
PO6 Front fencing must: <ul style="list-style-type: none"> (a) not dominate the streetscape, and (b) complement the low density sub-tropical character of the area. 	AO6 Front fences are: <ul style="list-style-type: none"> (a) a maximum height of 1.5m (b) 50% transparent (c) made of open timber or metal construction, and (d) do not impede existing overland flow paths.
PO7 Driveways, cross overs and car parking areas: <ul style="list-style-type: none"> (a) do not dominate the streetscape (b) are located to minimise the removal of mature trees, and (c) constructed from permeable materials where possible to maintain natural drainage flows and maximise stormwater infiltration on-site. 	AO7.1 Driveways, crossovers and car parking areas are: <ul style="list-style-type: none"> (a) finished with a permeable surface, and (b) not located within 4m of the side boundary.
	AO7.2 Driveways and crossovers are: <ul style="list-style-type: none"> (a) a maximum of 3.5m wide including splays, and (b) limited to 1 per lot.
Landscaping	
PO8 Development and landscaping: <ul style="list-style-type: none"> (a) enhances visual amenity and screen buildings from streets, walkways and other public places (b) integrates with the natural features 	AO8.1 Plant species used for landscaping are native to the locality.
	AO8.2 Uncovered external paved or hard landscaped areas not used for car parking are limited to 36m ² where a Dwelling house or 18m ² where a dual occupancy.

Performance outcomes	Acceptable outcomes
(c) minimises earthworks and the use of retaining walls, and (d) complements the low density sub-tropical character of the area.	AO8.3 Excavation and fill is limited to: (a) maximum cut of 1m below ground level, and (b) maximum fill of 1m above ground level.
	AO8.4 Retaining walls and terraces are: (a) not constructed to create a level lot (b) a maximum 0.6m high to the street frontage, and (c) a maximum height of 1.2m elsewhere on the lot.
For all assessable development	
Land use	
PO9 Development is of a small scale that does not compromise the low density and coastal village character of the locality.	No acceptable outcomes are nominated.
Effects of development	
PO10 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that: (a) any hazards to people or property are avoided (b) native plants are retained within the lot or premises and adjoining road reserve (c) any earthworks are minimised (d) the retention of natural drainage systems is maximised (e) the retention of existing vegetation is maximised (f) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (g) there is adequate buffering, screening or separation to adjoining development.	No acceptable outcomes are nominated.

Performance outcomes	Acceptable outcomes
<p>PO11</p> <p>Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) hours of operation including temporary uses (c) traffic and parking (d) visual impact (e) signage (f) odour and emissions (g) lighting (h) access to sunlight (i) privacy. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>

Diagram 6.2.4.3.1—Character dwelling house



6.2.5 Centre

6.2.5.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.5.2 Purpose

- (1) The purpose of the Centre zone code is to provide for a mix of uses and activities in a highly accessible locality that functions as a true town centre, community hub and meeting place. These uses include, but are not limited to, business, retail, professional, administrative, community, entertainment, cultural and residential and associated activities. These centres are found in a variety of configurations based on their location, surrounding uses and in terms of meeting community needs. Locations focus on major retail and shopping destinations at Kin Kora, Gladstone Central, Kirkwood Road, Calliope, Boyne Island, Tannum Sands and Agnes Water. Development in this zone:
 - (a) Provides for accessible, convenient and attractive retail, commercial, administrative and community activities that compliments but does not compete with the Gladstone CBD's role as the provider of high order uses, particularly those relating to business, entertainment and cultural activities or Specialised centres.
 - (b) Manages the interface between centre activities and adjoining residential areas.
 - (c) Promotes high quality centre design that maximises access by active and public transport and activates streets and public spaces.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Promotion of a mix of commercial, business, professional and retail activities.
 - (b) Shopping facilities in the form of showrooms are not established in centre zones.
 - (c) Development is generally established in accessible, well-connected locations with access to public transport, cycling and pedestrian networks.
 - (d) Service industries may be appropriate in the zone.
 - (e) Development is designed to maximise energy efficiency, water conservation and public/active transport use.
 - (f) Development provides a high level of amenity and is reflective of the surrounding character of the area.
 - (g) Development promotes public transport use, walking and cycling.
 - (h) Development is supported by appropriate infrastructure and essential services.
 - (i) Development responds to land constraints including topography and flooding.

6.2.5.3 Assessment benchmarks

Table 6.2.5.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Uses – Bar, Club, Food and Drink outlet	
PO1 Hours of operation are limited to minimise nuisance to any surrounding residential uses.	AO1 Hours of operation are limited to between 6am and 10pm.
Use – Caretaker's accommodation	
PO2 Development:	AO2.1 No more than 1 caretaker's accommodation unit is established on the site.

Performance outcomes	Acceptable outcomes
(a) is ancillary to the primary use (b) provides adequate private open space for the caretaker (c) does not compromise ground level business activities being established.	AO2.2 Caretaker's accommodation is a maximum of 100m ² GFA.
	AO2.3 Caretaker's accommodation is located above the ground floor level, or to the rear of ground level business activities.
	AO2.4 Caretaker's accommodation is provided with a private open space area which: (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m ² with minimum horizontal dimension of 1.25m.
Use – Dwelling unit	
PO3 Development does not compromise ground level business activities being established.	AO3 Dwelling units are located either above or to the rear of ground level business activities.
PO4 Development must provide sufficient and accessible open space for residents needs	AO4 Development provides a minimum of 16m ² private open space for each dwelling unit with a minimum dimension of 3m in any direction.
Use – Sales office	
PO5 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO5.1 Development of the sales office is in place for no more than 2 years.
	AO5.2 There are a maximum of 2 employees on site at any one time
For all assessable development	
Land use, scale and tenancy mix	
PO6 Development: (a) provides for a range of retail, commercial, community, entertainment and recreation activities (b) is of a size and scale that meets the needs of the local community, and (c) does not impact on the viability of other centres in the region.	AO6 Gross floor area of the following uses does not exceed: (a) 250m ² for Agricultural supplies store, Garden centre and Hardware and trade supplies, or (b) No acceptable outcome is nominated for other uses.
PO7 Development provides a diverse mix of building types and tenancy sizes to support a range of business and community uses and enterprise opportunities.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Built form	
PO8 Building height: (a) is consistent with the intended character of the centre, and (b) does not result in a significant loss of visual amenity.	AO8 Building height does not exceed that shown on the Building height and frontages overlay map.
Centre design	
PO9 Development: (a) is proportionate to the size and street frontage of the site (b) maintains and enhances the existing streetscape (c) protects adjacent amenity (d) maintains appropriate levels of light and solar penetration, air circulation, and privacy for adjoining properties (e) provides for public space and landscape areas, and (f) reduces building bulk.	No acceptable outcome is nominated.
PO10 Buildings are designed to: (a) overlook the external street network by having buildings built up to or close to street alignments and providing active building frontages to public streets and spaces (b) respect and complement the existing character of the area (c) maintain an appropriate human scale (d) minimise the use of highly reflective materials, and (e) respond to climatic conditions.	No acceptable outcome is nominated.
PO11 Design elements contribute to an interesting and attractive streetscape and building through: (a) variations in materials and building form to enable articulation of facades and differentiation between buildings (b) modulation in the façade, horizontally or vertically (c) articulation of building entrances and openings (d) corner treatments to address all street frontages, and (e) elements which assist in wayfinding and legibility.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO12 Building caps and rooftops contribute to the architectural distinction of the building, and effectively screen service structures, lift overruns, plant and equipment.	No acceptable outcome is nominated.
PO13 Development is designed to facilitate the safety and security of people and property having regard to: <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of personal concealment and entrapment locations, and (f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points. Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland .	No acceptable outcome is nominated.
Street interface	
PO14 Buildings are oriented to address all street frontages, public open space and public areas to: <ul style="list-style-type: none"> (a) promote interaction and casual surveillance (b) concentrate and reinforce pedestrian activity (c) create consolidated street edges (d) avoid opaque facades to provide visual interest to the frontage, and (e) clearly define the public and private realm. 	No acceptable outcome is nominated.
PO15 Buildings and pedestrian entries: <ul style="list-style-type: none"> (a) are visible from the street and car parking areas (b) incorporate sun and rain shelter, such as overhangs or awnings, and (c) are defined by design elements (such as doors and landscaping, etc). 	No acceptable outcome is nominated.
PO16 Buildings includes windows and openings to: <ul style="list-style-type: none"> (a) promote street life and business activities (b) encourage strong indoor/outdoor relationships at ground level, and 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(c) to facilitate casual surveillance.	
PO17 Development contributes towards high quality streetscape outcomes that integrate effectively with the street and along key pedestrian and cycle routes.	No acceptable outcome is nominated.
PO18 Buildings include awnings that: <ul style="list-style-type: none"> (a) complement and integrate with the front building façade (b) protect street footpaths from rain and sun (c) are continuous and compatible with existing pedestrian shelter and awnings on adjoining buildings (d) allow for street trees and other landscaping (e) are visually safe and amenable (f) are cantilevered from the main building and do not include posts within the footpath, and (g) are constructed of lightweight materials. 	No acceptable outcome is nominated.
PO19 Development must ensure safe, convenient and legible connections and pathways are provided: <ul style="list-style-type: none"> (a) for pedestrians and cyclists to, from and within the site (b) to public transport infrastructure, open space, parkland, centres and community-related activities. 	No acceptable outcome is nominated.
Landscape design	
PO20 Landscape elements are integrated in the building design through planting at various levels including on top of podiums, rooftops and within storeys. Note—Refer also to the Landscaping code.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>PO21</p> <p>Landscape treatments includes hard and soft elements that:</p> <ul style="list-style-type: none"> (a) is of a character and durability that reflects the centre (b) enhance the appearance of the centre (c) extends from the street edge into building entrances, foyers and onto podiums (d) emphasises a clear pedestrian entry point (e) screen unsightly components (f) provide shading, and (g) reflects and reinforces a subtropical image through integrating landscape, outdoor and indoor spaces. <p>Note—Refer also to the Landscaping code.</p>	<p>No acceptable outcome is nominated.</p>
Amenity	
<p>PO22</p> <p>Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby land in a residential zone are minimised.</p>	<p>AO22.1</p> <p>Buildings are set back 3m from any boundary shared with a residential zone.</p>
	<p>AO22.2</p> <p>A 1.8m high solid screen fence is provided along all boundaries shared with a residential zone.</p>
	<p>AO22.3</p> <p>A landscaped buffer with a minimum width of 2m and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p>
	<p>AO22.4</p> <p>Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of 50% transparent to obscure views and maintain privacy for residents.</p>

Performance outcomes	Acceptable outcomes
<p>PO23</p> <p>Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the centre, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) hours of operation (c) traffic (d) visual impact (e) signage (f) odour and emissions (g) lighting (h) access to sunlight (i) privacy, and (j) outlook. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO24</p> <p>All uses:</p> <ul style="list-style-type: none"> (a) minimise noise, dust, odour or other nuisance from existing lawful uses, and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity. 	<p>No acceptable outcome is nominated.</p>
Car parking and access	
<p>PO25</p> <p>Parking and loading areas do not visually dominate the streetscape.</p>	<p>AO25.1</p> <p>Parking areas are:</p> <ul style="list-style-type: none"> (a) located in a basement or semi basement, or (b) setback a minimum of 15m from any street frontage and screened to allow a building edge for active uses. <p>Note—Refer also to Diagram 6.2.5.3.1—Parking design in centres.</p> <p>AO25.2</p> <p>Vehicle loading areas are screened from footpaths, streets and public areas by fences with screening at least 1.5m in height and are 50% visually permeable.</p>
Storage areas	
<p>PO26</p> <p>Ancillary storage of goods or materials and waste management areas must be located in a manner that does not detract from the visual amenity of the local area.</p>	<p>AO26</p> <p>Equipment, materials, goods and/or, machinery used on site are either:</p> <ul style="list-style-type: none"> (a) stored behind the front building setback and screened from view, or (b) stored within a building.

Performance outcomes	Acceptable outcomes
Effects of development	
<p>PO27</p> <p>Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
Use – All accommodation activities	
<p>PO28</p> <p>Where accommodation activities are proposed, residential density:</p> <ul style="list-style-type: none"> (a) is capable of being supported by local infrastructure and services (b) can be achieved without creating conflict between residential and non-residential uses, and (c) supports a concentrated residential population in proximity to local active and public transport networks. 	No acceptable outcome is nominated.
Use – Child care centre	
<p>PO29</p> <p>Development is:</p> <ul style="list-style-type: none"> (a) compatible with neighbouring uses (b) complementary to local character and amenity (c) supports the day to day needs of residents (d) located on a site which must adequately accommodate activity needs and space requirements. 	No acceptable outcome is nominated.
<p>PO30</p> <p>Development does not adversely impact on the amenity of area.</p>	<p>AO30</p> <p>Hours of operation are limited to between 6am and 7pm daily.</p>

Performance outcomes	Acceptable outcomes
PO31 Development minimises: <ul style="list-style-type: none"> (a) the hazards of heavy traffic (b) introduction of non-local traffic into minor, residential streets, and (c) on-site conflict between children's activities, pedestrian movement, vehicle movement and car parking. 	AO31.1 The use is not accessed from: <ul style="list-style-type: none"> (a) arterial/sub-arterial routes, or (b) an access street or access place.
	AO31.2 Parking spaces are located so that children are not required to cross the driveway or vehicular access way to reach the building.
Uses – Multiple dwelling, Retirement facility, Residential care facility, Rooming accommodation	
PO32 Development does not compromise ground level business activities being established.	AO32 Dwelling units are located either above the ground floor level, or to the rear of ground level business activities.
PO33 Development provides a mix of housing sizes to meet housing needs across the community.	AO33 Development of 15 or more dwellings includes the following proportion of dwelling sizes: <ul style="list-style-type: none"> (a) 25% – 1 bedroom or studio (b) 40% – 2 bedrooms (c) 15% – 3 bedrooms or more (d) remaining 20% is unrestricted.
PO34 Development must provide sufficient and accessible open space for residents needs.	AO34.1 Development provides a minimum of 16m ² private open space for each dwelling with a minimum dimension of 3.0m in any direction.
	AO34.2 Private open space is accessible from the main living area.
	AO34.3 Development greater than 18 dwellings provides a minimum communal open space area of 50m ² with a minimum dimension of 5m.
PO35 Habitable spaces must not directly overlook dwellings on adjacent land.	AO35 Habitable room windows of a dwelling unit are separated a minimum of 9m from a habitable room window or private open space of another dwelling unit unless: <ul style="list-style-type: none"> (a) windows have translucent glazing or sill heights of at least 1.5m, or (b) there is a 1.8m high dividing fence at ground level (c) outlook from windows, balconies, and terraces of a dwelling unit is screened where screening is a permanent screen or perforated panels or trellises which have a maximum of 50% openings, and permanent and fixed, and designed to complement the development. <p>Note—Refer below to Diagram 1—Privacy.</p>

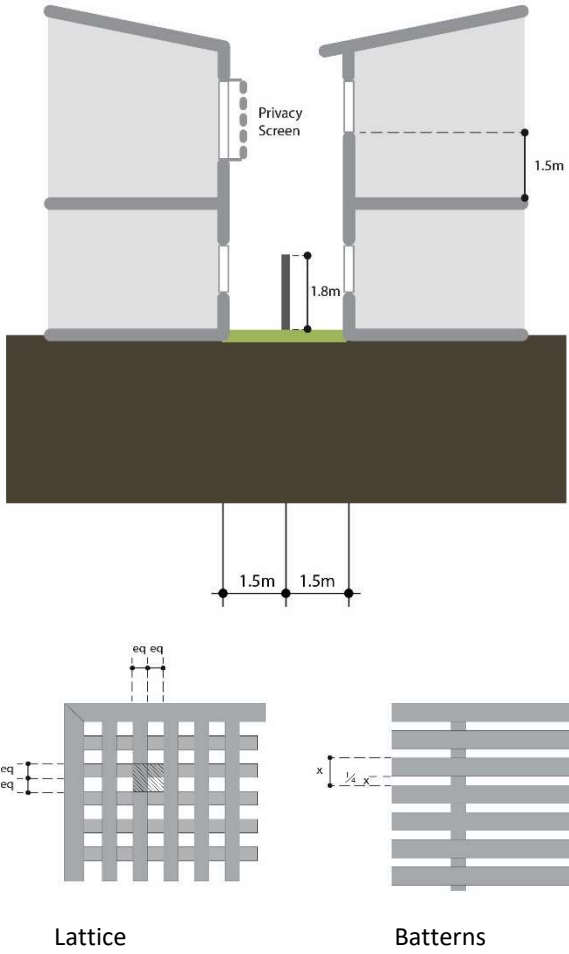
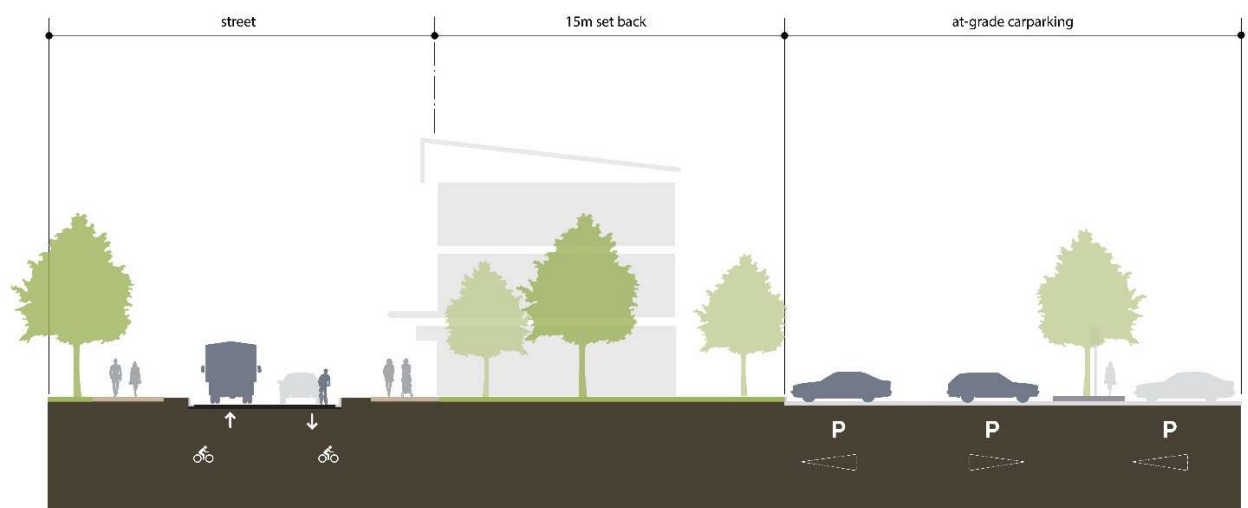
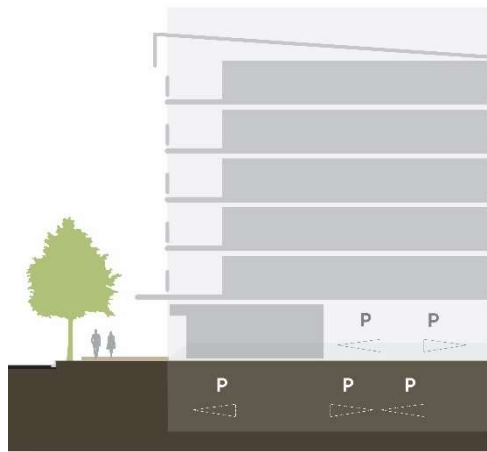
Performance outcomes	Acceptable outcomes
	 <p>The diagram illustrates acceptable outcomes for parking design in centres. It features a cross-section of two buildings with a privacy screen between them. The screen is 1.8m high and 1.5m wide. The buildings are 1.5m apart. Below the cross-section are two plan views: 'Lattice' and 'Batterns'. The 'Lattice' view shows a grid pattern with dimensions of 1.5m by 1.5m. The 'Batterns' view shows a horizontal slat pattern with dimensions of 1.5m by 1.5m.</p>

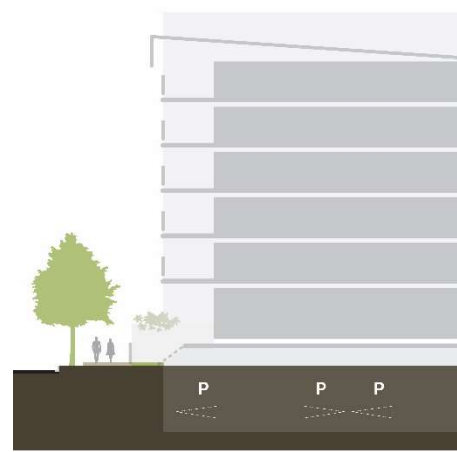
Diagram 6.2.5.3.1—Parking design in centres



Example 1—Correct parking treatment



Example 2— Correct parking treatment



Example 3—Correct parking treatment

6.2.6 Principal centre

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.6.1 Purpose

1. The purpose of the Principal Centre zone code is to provide for:
 - (a) A diverse and vibrant Gladstone CBD area centred on Goondoon Street.
 - (b) A highly concentrated mix of uses including higher-order retail, commercial, employment, residential, health services, administrative, community cultural, recreational and entertainment activities and other uses.
 - (c) An urban form characterised by tall buildings and high quality urban design and streetscape outcomes.
 - (d) The region's major commercial office centre for major business and resource sector activities.
 - (e) Short term accommodation opportunities to meet the needs of the resources and tourism sectors.
 - (f) A level of amenity commensurate with a highly urbanised city centre.
2. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) High level retail, commercial, administrative, community, cultural and entertainment activities are provided.
 - (b) A range of afterhours activities support activation of the CBD.
 - (c) Service industries integrate with other uses where they do not create an impact on surrounding land uses.
 - (d) Development is safe, accessible and well-designed and incorporates public open spaces and urban pedestrian environments.
 - (e) Development design reinforces Goondoon Street as the 'main street' through appropriate building setbacks and streetscape treatments.

Note—Streetscape treatments are undertaken in accordance with the *CBD redevelopment planning scheme policy*.
 - (f) Development activates street frontages or identified primary frontages to promote a mix of employment opportunities, social contact and enhanced walking, cycling and public transport use.

Note—Primary frontages are identified on the Building height and frontages overlay map.
 - (g) Residential development, short-term accommodation and tourist accommodation is provided at an appropriate scale and integrates with and enhances the fabric of the city centre.
 - (h) Buildings are of a scale, height and size that complement the city centre character for the area through design elements that reduce building bulk and create an attractive streetscape.
 - (i) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.
 - (j) Development provides a high level of amenity for a highly urbanised centre and is reflective of the surrounding character of the area.
 - (k) Public open space including malls, plazas, parks and gardens are provided where it enhances existing open space areas.
 - (l) Development has access to infrastructure, compatible employment areas, nodes and essential services.
 - (m) Development responds to land constraints, including but not limited to topography.

- (n) Development responds to heritage and character values through site design and adaptable reuse of heritage buildings.

6.2.6.2 Assessment benchmarks

Table 6.2.6.2.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development for caretaker’s accommodation: (a) is subordinate to non–residential uses on the same site (b) provides adequate private open space for residents (c) does not compromise ground level business activities being established.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker’s accommodation is a maximum of 100m ² GFA.
	AO1.3 Caretaker’s accommodation is located above the ground floor level or to the rear of ground level business activities
	AO1.4 Caretaker’s accommodation is provided with a private open space area which: (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
Use – Dwelling unit	
PO2 Development does not compromise ground level business activities being established.	AO2 Dwelling units are located either above the ground floor level, or to the rear of ground level business activities.
PO3 Development must provide sufficient and accessible open space for residents needs.	AO3 Development provides a minimum of 16m ² private open space for each dwelling with a minimum dimension of 3m in any direction.
Uses – Food and drink outlet, Bar and Club	
PO4 Hours of operation are limited to minimise nuisance on residential uses.	AO4 Where adjoining, or part of a building with residential uses (not including short term accommodation): (a) hours of operation are limited to between 7am and 10pm, and (b) the use does not involve amplified music audible external to the premises.
Use – Sales office	
PO5	AO5.1 Development of the sales office is in place for no more than two years.

Performance outcomes	Acceptable outcomes
The use does not adversely impact on the amenity of the surrounding land uses and local character.	A05.2 There are a maximum of 2 employees on site at any one time.
For all assessable development	
Built form	
PO6 Building height: <ul style="list-style-type: none"> (a) is consistent with the intended character of the city centre (b) does not result in a significant loss of visual amenity, and (c) does not impact on airport operations. 	A06 Building height does not exceed 10 storeys and 60.5m AHD including any structures (both free standing and attached to buildings, including signs, masts or antennae).
PO7 Podiums are located on a primary frontage and: <ul style="list-style-type: none"> (a) are low rise (b) allow for active uses at street level that overlook the street or public thoroughfare, and (c) are human scale at street level. Note—Primary frontages are identified on the Building height and frontages overlay map.	A07.1 Development located on a primary frontage includes a podium that does not exceed 1 storey. Note—Primary frontages are identified on the Building height and frontages overlay map. Refer to Diagram 6.2.6.2.1—Primary and rear frontage, for a site located on a primary frontage which also includes a rear frontage.
	A07.2 Development located on a primary frontage includes a minimum ground floor height of 4.5m (floor to floor).
PO8 Development: <ul style="list-style-type: none"> (a) is proportionate to the size and street frontage of the site (b) actively interfaces with streets and public spaces (c) maintains and enhances the existing streetscape (d) protects adjacent amenity (e) maintains appropriate levels of light and solar penetration, air circulation, privacy for adjoining properties (f) provides for public space and landscape areas, and (g) reduces building bulk. 	A08 Development is in accordance with the following building types: <ul style="list-style-type: none"> (a) Figure 1—Primary frontage building where identified on a primary frontage (b) Figure 2—Secondary frontage building where not identified on a primary frontage. Note—Primary frontages are identified on the Building height and frontages overlay map. Refer to Diagram 6.2.6.2.1—Primary and rear frontage, for a site located on a primary frontage which also includes a rear frontage.
Land use and tenancy mix	
PO9 Development provides a fine grain mix of tenancies along Goondoon Street and identified primary frontages to support a range of retail, commercial, community, entertainment and recreational opportunities at street level. Note—Primary frontages are identified on the Building height and frontages overlay map.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO10 Where accommodation activities are proposed, residential density: <ul style="list-style-type: none"> (a) is capable of being supported by local infrastructure and services (b) can be achieved without creating conflict between residential and non-residential uses, and (c) supports a concentrated residential population in proximity to local active and public transport networks. 	No acceptable outcome is nominated.
PO11 Retail development: <ul style="list-style-type: none"> (a) occurs at a scale which provides for the small scale needs of residents, workers and tourists (b) is compatible with the character of the area, and (c) does not include large format, land consumptive commercial uses. 	AO11 The maximum GFA for Hardware and Trade supplies is 250m ² .
Building design and appearance	
PO12 Buildings are designed to: <ul style="list-style-type: none"> (a) respect and complement the existing character of the area (b) maintain an appropriate human scale which is open and readily accessible from the street (c) minimise the use of highly reflective materials, and (d) respond to climatic conditions. 	No acceptable outcome is nominated.
PO13 Design elements contribute to an interesting and attractive building through: <ul style="list-style-type: none"> (a) variations in materials and building form to enable articulation of facades and differentiation between buildings (b) modulation in the façade, horizontally or vertically (c) articulation of building entrances and openings (d) corner treatments to address both street frontages, and (e) elements which assist in wayfinding and legibility. 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO14 Building caps and rooftops contribute to the architectural distinction of the building, and effectively screen service structures, lift overruns, plant and equipment.	No acceptable outcome is nominated.
PO15 Development is designed to facilitate the safety and security of people and property having regard to: <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of personal concealment and entrapment locations, and (f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points. Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland .	No acceptable outcome is nominated.
Street interface	
PO16 Development is oriented to address all street frontages, public open space and public areas to: <ul style="list-style-type: none"> (a) promote interaction and casual surveillance (b) concentrate and reinforce pedestrian activity (c) avoid opaque facades to provide visual interest to the frontage, and (d) clearly define the public and private realm. 	No acceptable outcome is nominated.
PO17 Buildings and pedestrian entries: <ul style="list-style-type: none"> (a) are visible from the street and car parking areas (b) incorporate sun and rain shelter such as overhangs, and (c) are defined by design elements (such as doors and landscaping, etc). 	No acceptable outcome is nominated.

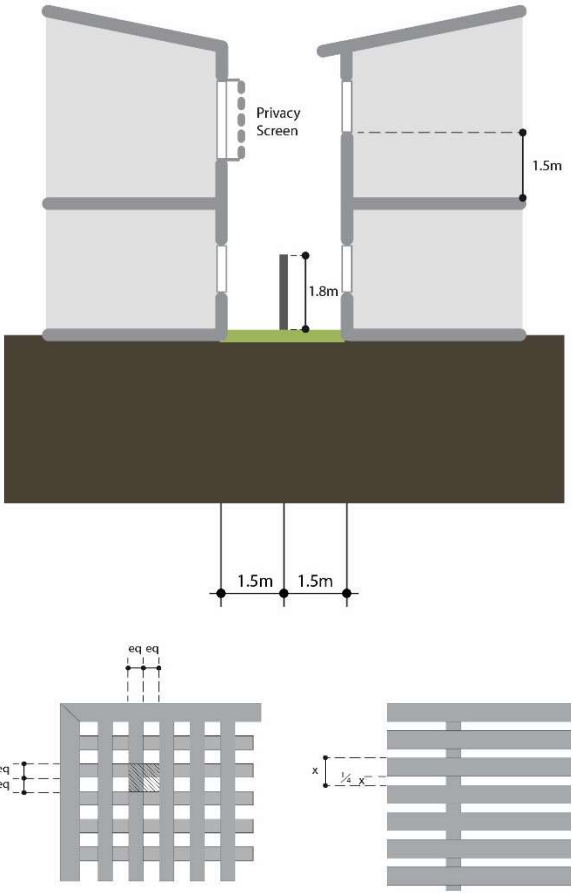
Performance outcomes	Acceptable outcomes
<p>PO18</p> <p>Buildings includes windows and openings to:</p> <ul style="list-style-type: none"> (a) promote street life and business activities (b) encourage strong indoor/outdoor relationships at ground level, and (c) to facilitate casual surveillance. 	No acceptable outcome is nominated.
<p>PO19</p> <p>Development ensures safe, convenient and legible connections are provided:</p> <ul style="list-style-type: none"> (a) for pedestrians and cyclists to, from and within the site (b) to public transport infrastructure, open space, parkland, public spaces and community-related activities. 	No acceptable outcome is nominated.
<p>PO20</p> <p>Development contributes towards high quality streetscape outcomes that integrate effectively with primary frontages along Goondoon Street. This may include the provision of street trees, street furniture, paving and public art.</p> <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p> <p>Note—Streetscape treatments are undertaken in accordance with the <i>CBD redevelopment planning scheme policy</i>.</p>	No acceptable outcome is nominated.
<p>PO21</p> <p>Awnings:</p> <ul style="list-style-type: none"> (a) are provided along primary frontages (b) complement and integrate with the front building façade (c) protect street footpaths from rain and sun (d) are continuous and compatible with existing pedestrian shelter and awnings (e) allow for street trees and other landscaping (f) are visually safe and amenable (g) are cantilevered from the main building and do not include posts within the footpath, and (h) are constructed of lightweight materials. <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Landscape design	
<p>PO22</p> <p>Landscape elements are integrated in the building design through planting at various levels including on top of podiums, rooftops and within storeys.</p> <p>Note—Applicants are also referred to the Landscaping code.</p>	No acceptable outcome is nominated.
<p>PO23</p> <p>Landscape treatments includes hard and soft elements that:</p> <ul style="list-style-type: none"> (a) is of a character and durability that reflects Gladstone’s city centre (b) enhance the appearance of the development (c) extends from the street edge into building entrances, foyers and onto podiums (d) emphasises a clear pedestrian entry point (e) screen unsightly components (f) provide shading, and (g) reflects and reinforces a subtropical image through integrating landscape, outdoor and indoor spaces. <p>Note—Applicants are also referred to the Landscaping code.</p>	No acceptable outcome is nominated.
Amenity	
<p>PO24</p> <p>Mixed–use premises must ensure the transmission of noise between residential and non–residential uses is minimised.</p>	No acceptable outcome is nominated.
<p>PO25</p> <p>Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the mixed–use premises, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) hours of operation (c) traffic (d) visual impact (e) signage (f) odour and emissions (g) lighting (h) access to sunlight (i) privacy, and (j) outlook. 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO26 All uses: <ul style="list-style-type: none"> (a) minimise noise, dust, odour or other nuisance from existing lawful uses, and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity. 	No acceptable outcome is nominated.
Parking areas and access	
PO27 Parking areas do not visually dominate the streetscape.	AO27.1 Parking areas are: <ul style="list-style-type: none"> (a) located in a basement, or (b) setback a minimum of 15m from any street frontage and screened to allow a building edge for active uses. <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p> AO27.2 Vehicle loading areas: <ul style="list-style-type: none"> (a) are screened from footpaths, streets and public areas by fences with screening at least 1.5m in height and are 50% visually permeable, and (b) are not accessed via a primary frontage unless where there is no other access available to the site. <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>
PO28 Crossovers are minimised to: <ul style="list-style-type: none"> (a) reduce conflict with pedestrians, cyclists and public transport; and (b) maintain high quality streetscape environments through footpaths & street trees. 	AO28.1 Development is limited to one crossover. AO28.2 Vehicular access is not located on a primary frontage unless where there is no other access available to the site. <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>
Storage areas	
PO29 Ancillary storage of goods or materials must be located in a manner that does not detract from the visual amenity of the local area.	AO29 Equipment, materials, goods and/or, machinery used on site are either: <ul style="list-style-type: none"> (a) stored behind the front building setback and screened from view, or (b) stored within a building.
Effects of development	
PO30 Development responds sensitively to on-site and surrounding topography, coastal	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage line is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	
PO31 Residential development where located near port facilities, major industries and major infrastructure must mitigate the operational effects including: <ul style="list-style-type: none"> (a) using air-conditioning or other energy-efficient ventilation, where necessary, to minimise the effects of odours and emissions, and (b) comprehensive on site landscaping to provide visual relief from the industrial landscape. 	No acceptable outcome is nominated.
Uses – Multiple dwelling, Retirement facility, Residential care facility, Rooming accommodation	
PO32 Development on a primary frontage does not compromise ground level business activities being established.	A032 Development on a primary frontage is located either above the ground floor level, or to the rear of ground level business activities. Note—Primary frontages are identified on the Building height and frontages overlay map.
PO33 Development provides a mix of housing sizes to meet housing needs across the community.	A033 Development of 15 or more dwellings includes the following proportion of dwelling sizes: <ul style="list-style-type: none"> (a) 25% – 1 bedroom or studio (b) 40% – 2 bedrooms (c) 15% – 3 bedrooms or more (d) remaining 20% is unrestricted.

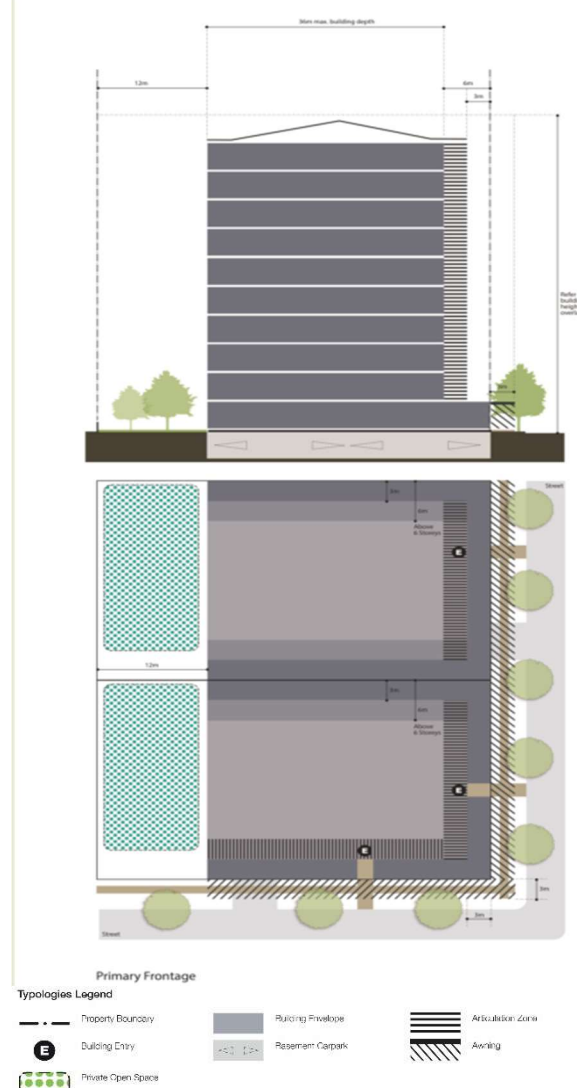
Performance outcomes	Acceptable outcomes
PO34 Development must provide sufficient and accessible open space for residents needs.	AO34.1 Open space is provided in accordance with the following building types: (a) Figure 1—Primary frontage building where located on a primary frontage (b) Figure 2—Secondary frontage building where not located on a primary frontage. Note—Primary frontages are identified on the Building height and frontages overlay map.
	AO34.2 Private open space is directly adjacent to the main living area.
PO35 Open space is oriented to maximise solar access.	No acceptable outcome is nominated.
PO36 Communal open space is: (a) designed to provide useable areas for communal activities such as clothes drying and social interaction (b) open to the sky, and (c) is not dominated by landscaping.	No acceptable outcome is nominated.
PO37 Habitable spaces must not directly overlook dwellings on adjacent land.	AO37 Habitable room windows of a dwelling unit are separated a minimum of 9m from a habitable room window or private open space of another dwelling unit unless: (a) windows have translucent glazing or sill heights of at least 1.5m, or (b) there is a 1.8m high dividing fence at ground level (c) outlook from windows, balconies, and terraces of a dwelling unit is screened where screening is (d) a permanent screen or perforated panels or trellises which have a maximum of 50% openings, and (e) permanent and fixed, and designed to complement the development. Note—Refer below to Diagram 1—Privacy.

Performance outcomes	Acceptable outcomes
	 <p>The diagram illustrates acceptable outcomes for privacy screening. The top section is a side elevation showing two buildings with a privacy screen between them. The screen is 1.8m high and 1.5m wide. The buildings are 1.5m high. The bottom section shows two plan views of the screen: 'Lattice' and 'Batterns'. The 'Lattice' view shows a grid of squares with dimensions 1.5m by 1.5m. The 'Batterns' view shows horizontal slats with dimensions 1.5m by 1.5m. The labels 'Lattice' and 'Batterns' are positioned below their respective plan views.</p>

6.2.6.2.1 Figure 1—Primary frontage building

This building type can accommodate a diversity of land uses at higher intensities while still maintaining human scale at street level. Buildings are built to their front alignment allowing a range of finer grain uses such as shops and cafes to define main streets such as Goondoon Street and public spaces. A single storey podium defines the base of the buildings.

Element		Acceptable solutions	
1.1	Minimum frontage	30m	
1.2	Minimum area	1,500m ²	
1.3	Maximum building depth from the main street frontage	36m to OMP including podium	
1.4	Residential open space	Minimum private open space of 16m ² per dwelling with a minimum dimension of 3m in any direction.	
		Minimum communal open space of 20% of the site area with a minimum dimension of 10m in any direction.	
1.5	Minimum setbacks	Podium (in all directions)	0m where abutting an existing podium or non-residential building.
			3m where adjoining a residential zone.



		Front ²	6m to main face of building (3m OMP in articulation zone ³).
		Rear ⁴	12m to OMP
		Side	Levels 2–6: 3m to OMP Levels 7+: 6m to OMP (9m where balconies overlook side boundary in any circumstance).

² Setback above podium level.

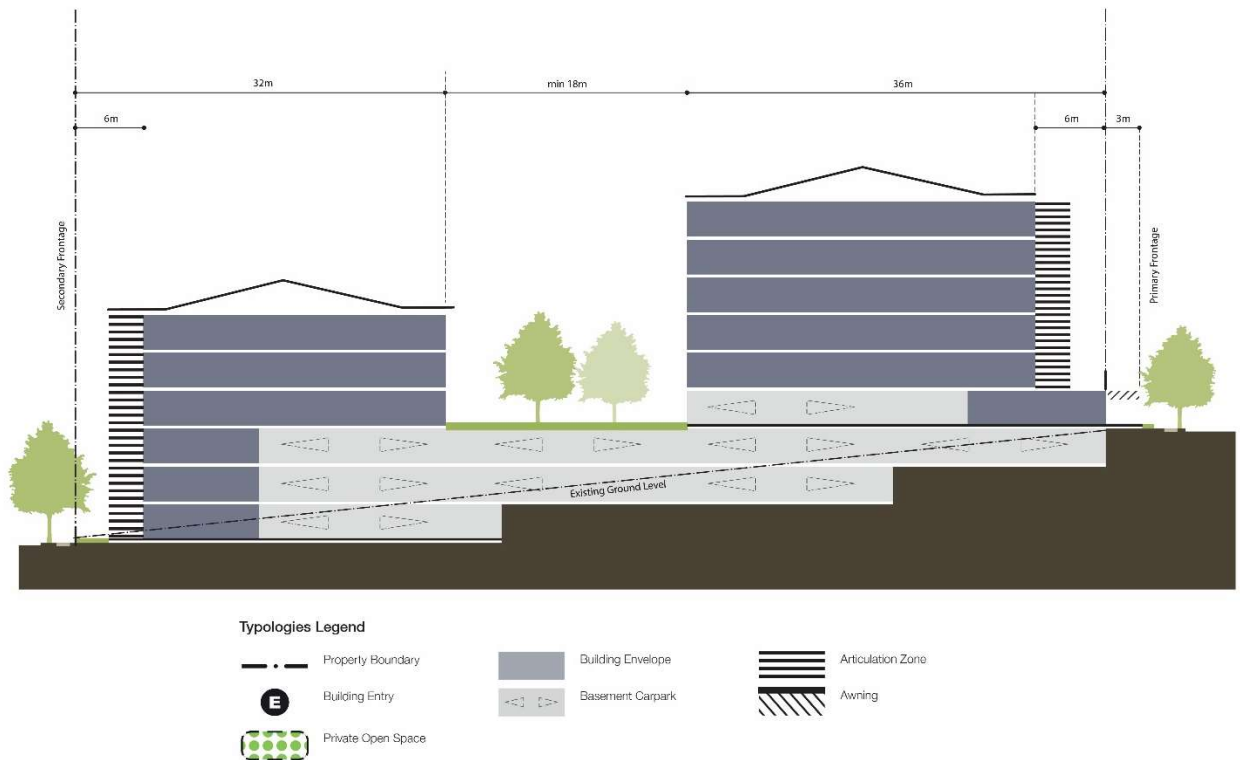
³ Area from the main face of the building to the outermost projection where elements such as sun shading, balconies, roofs, eaves and overhangs project to assist in articulating the façade.

⁴ The rear boundary is opposite the primary frontage of the site.

Diagram 6.2.6.2.1—Primary and rear frontage

Where a site located on a primary frontage also has a rear frontage, the building treatment will be in accordance with the intent of this diagram as follows:

- (1) The podium extends across the entire depth of the site.
- (2) Car parking areas within the podium or basement are not permitted to extend to any street frontage and must be sleeved by the requisite frontage treatment for at least the full height of the podium or two storeys whichever is the greater.

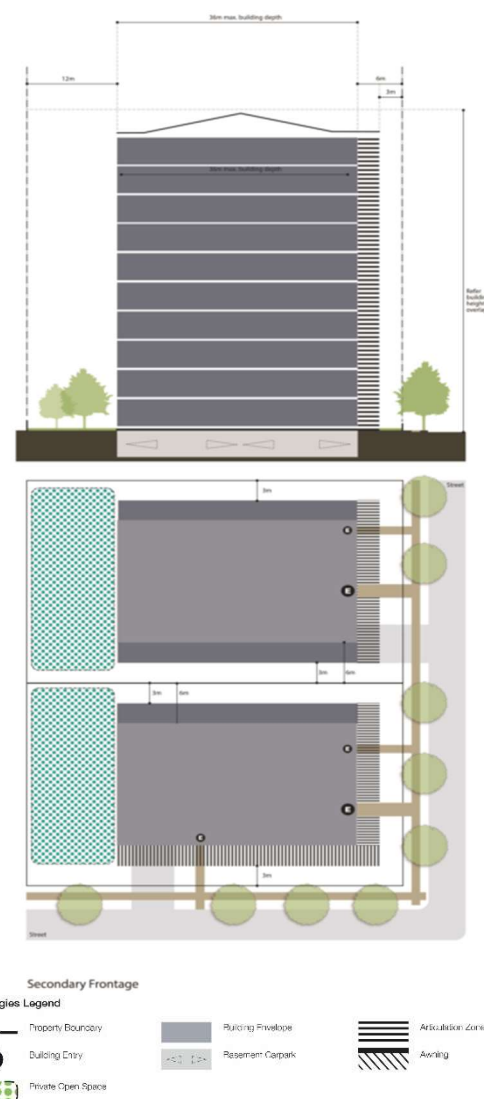


6.2.6.2.2 Figure 2—Secondary frontage building

This building type occurs generally on those streets in centres and mixed use areas where buildings are not required to provide active uses at ground level. These buildings may be single use commercial or residential buildings or vertically mixed use.



Element			Acceptable solutions
2.1	Minimum frontage		30m
2.2	Minimum area		1,500m ²
2.3	Maximum building depth from the main street frontage		36m to OMP
2.4	Residential open space		<p>Minimum private open space of 16m² per dwelling with a minimum dimension of 3m in any direction.</p> <p>Minimum communal open space of 20% of the site area with a minimum dimension of 10m in any direction.</p>
2.5	Minimum setbacks	Front	6m to main face of building (3m OMP in articulation zone ⁵).
		Rear	12m to OMP.
		Side	<p>Levels 1–6: 3m to OMP</p> <p>Levels 7+: 6m to OMP (9m where balconies overlook side boundary in any circumstance).</p>



⁵ Area from the main face of the building to the outermost projection where elements such as sun shading, balconies, roofs, eaves and overhangs project to assist in articulating the façade.

6.2.7 Neighbourhood centre

6.2.7.1 Application

This code applies to development where the code is identified as applicable in a table of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.7.2 Purpose

- (1) The purpose of the Neighbourhood Centre zone code is to provide for a small mix of land uses to service residential neighbourhoods. It includes small-scale convenience shopping, professional offices, community services and other uses that directly support the immediate community. Development in this zone must:
 - (a) Provide for accessible, convenient and attractive retail, commercial, administrative and community activities at a scale that does not compromise the viability of the Principal centre zone or the Centre zones.
 - (b) Provide for clusters of non-residential uses surrounded by residential areas that provide a mix of uses to support the day to day convenience and community needs of surrounding residents.
 - (c) Manage the interface between centre activities and adjoining residential activities.
 - (d) Promote high quality centre design that maximises access by active and public transport and activates streets and public spaces.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Small-scale convenience retail, commercial and community uses servicing the local community are provided. Large format retail uses are not supported in this zone.
 - (b) Limited residential uses such as dwelling units can occur in conjunction with centre activities.
 - (c) Limited after hours activities are supported where compatible with surrounding residential activities.
 - (d) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.
 - (e) Development provides a high level of amenity and is reflective of the surrounding character of the area.
 - (f) Development encourages public transport accessibility and use, walking and cycling.
 - (g) Development has access to development infrastructure and essential services.
 - (h) Development responds to land constraints, including but not limited to topography, bushfire and flooding.
 - (i) Natural features such as creeks, gullies, waterways, wetlands, habitats, vegetation and bushland are retained, enhanced and buffered from the impacts of adjacent uses and any unavoidable impacts are minimised through location, design, operation and management requirements.

6.2.7.3 Assessment benchmarks

Table 6.2.7.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development: (a) is ancillary to the primary use (b) provides adequate private open space for the caretaker (c) does not compromise ground level business activities being established.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker’s accommodation is a maximum of 100m ² GFA.
	AO1.3 Caretaker’s accommodation is located above the ground floor level, or to the rear of ground level business activities.
	AO1.4 Caretaker’s accommodation is provided with a private open space area which: (a) is directly accessible from a habitable room, and (b) where a balcony, a verandah or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
Use – Dwelling unit	
PO2 Development does not compromise ground level business activities being established.	AO2 Dwelling units are located either above the ground floor level, or to the rear of ground level business activities.
PO3 Development must provide sufficient and accessible open space for residents needs.	AO3 Development provides a minimum of 16m ² private open space for each dwelling with a minimum dimension of 3m in any direction.
Uses – Food and drink outlet and Club	
PO4 Hours of operation are limited to minimise nuisance to any surrounding residential uses.	AO4 Hours of operation are limited to between 7am and 10pm.
Use – Sales office	
PO5 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO5.1 Development of the sales office is in place for no more than 2 years.
	AO5.2 There are a maximum of 2 employees on site at any one time.

Performance outcomes	Acceptable outcomes
Scale	
<p>PO6 Retail, commercial and community based development:</p> <ul style="list-style-type: none"> (a) occurs at a scale which provides for the day to day convenience needs of residents in the surrounding neighbourhood (b) does not impact on the viability of the region's other centres (c) does not include large format, land consumptive commercial uses. 	<p>AO6.1 The combined area of the neighbourhood centre including all existing and proposed shops, offices, service industries, health care services and food and drink outlets does not exceed a total GFA of 1,500m².</p> <p>Note—This acceptable outcome does not apply if only involving the reuse of an existing building.</p> <p>AO6.2 GFA of the following uses does not exceed:</p> <ul style="list-style-type: none"> (a) 1,000m² for Shop (b) 250m² for Health care services (c) 150m² for: <ul style="list-style-type: none"> (i) Adult store (ii) Car wash (iii) Club (iv) Community care centre (v) Community use (vi) Educational establishment (vii) Food and drink outlet (viii) Function facility (ix) Funeral parlour (x) Garden centre (xi) Hardware and trade supplies (xii) Indoor sport and recreation (xiii) Market (xiv) Office (xv) Place of worship (xvi) Service industry (xvii) Veterinary services
For all assessable development	
Building height (if involving building work)	
<p>PO7 Building height:</p> <ul style="list-style-type: none"> (c) is low rise (d) protects residential amenity through minimising overshadowing and overlooking where adjoining an existing residential use or residential zone, and (e) does not result in a significant loss of visual amenity. 	<p>AO7 Building height does not exceed 8.5m.</p>

Performance outcomes	Acceptable outcomes
Land use and tenancy mix	
PO8 Development provides for a range of small scale retail, commercial, community, entertainment and recreation activities through a mix of building types and tenancy sizes.	No acceptable outcome is nominated.
Centre design	
PO9 Development: <ul style="list-style-type: none"> (a) is proportionate to the size and street frontage of the site (b) maintains and enhances the existing streetscape (c) protects adjacent residential amenity (d) maintains appropriate levels of light and solar penetration, air circulation, privacy for adjoining properties (e) provides for public space and landscape areas, and (f) reduces building bulk. 	No acceptable outcome is nominated.
PO10 Buildings are designed to: <ul style="list-style-type: none"> (a) overlook the external street network by having buildings built up to or close to street alignments and providing active building frontages to public streets and spaces (b) respect and complement the existing character of the area (c) maintain an appropriate human scale (d) minimise the use of highly reflective materials, and (e) respond to climatic conditions. 	No acceptable outcome is nominated.
PO11 Design elements contribute to an interesting and attractive streetscape and building through: <ul style="list-style-type: none"> (a) variations in material and building form to enable articulation of facades and differentiation between buildings (b) modulation in the façade, horizontally or vertically (c) articulation of building entrances and openings (d) corner treatments to address both street frontages, and (e) elements which assist in wayfinding and legibility. 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO12 Building caps and rooftops contribute to the architectural distinction of the building, and effectively screen service structures, lift overruns, plant and equipment.	No acceptable outcome is nominated.
PO13 Development is designed to facilitate the safety and security of people and property having regard to: <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of personal concealment and entrapment locations, and (f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points. Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland .	No acceptable outcome is nominated.
Street interface	
PO14 Buildings are oriented to address all street frontages, public open space and public areas to: <ul style="list-style-type: none"> (a) promote interaction and casual surveillance (b) concentrate and reinforce pedestrian activity (c) create consolidated street edges (d) avoid opaque facades to provide visual interest to the frontage, and (e) clearly define the public realm. 	No acceptable outcome is nominated.
PO15 Buildings and pedestrian entries: <ul style="list-style-type: none"> (a) are visible from the street and car parking areas (b) incorporate sun and rain shelter, such as overhangs or awnings, and (c) are defined by design elements (such as doors and landscaping, etc.) 	No acceptable outcome is nominated.

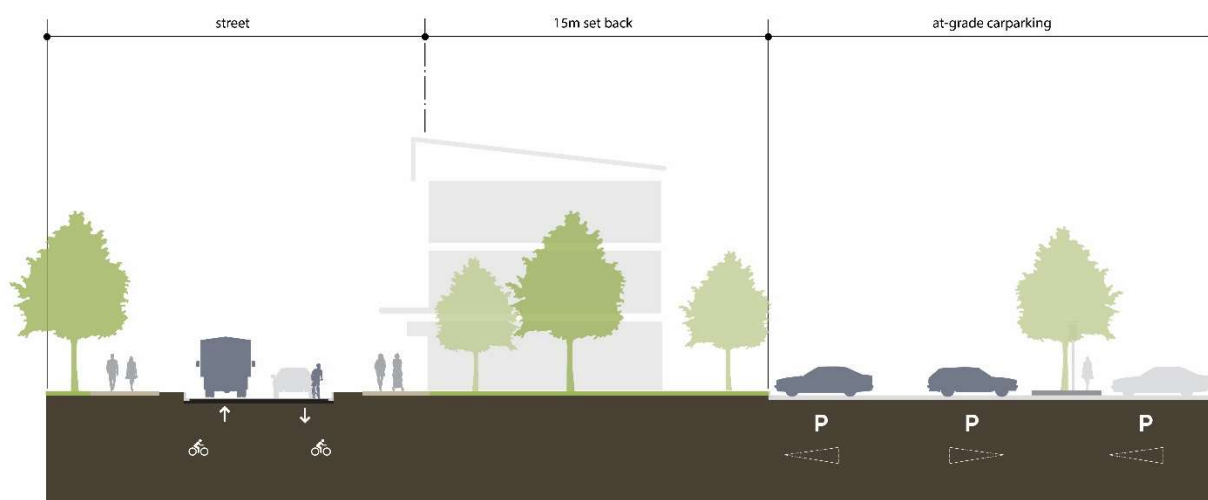
Performance outcomes	Acceptable outcomes
PO16 Buildings includes windows and openings to: <ul style="list-style-type: none"> (a) promote street life and business activities (b) encourage strong indoor/outdoor relationships at ground level, and (c) to facilitate casual surveillance. 	No acceptable outcome is nominated.
PO17 Development contributes towards high quality streetscape outcomes that integrate effectively with the street and along key pedestrian and cycle routes.	No acceptable outcome is nominated.
PO18 Buildings include awnings that: <ul style="list-style-type: none"> (a) complement and integrate with the front building façade (b) protect street footpaths from rain and sun (c) are continuous and compatible with existing pedestrian shelter and awnings on adjoining buildings (d) allow for street trees and other landscaping (e) are visually safe and amenable (f) are cantilevered from the main building and do not include posts within the footpath, and (g) are constructed of lightweight materials. 	No acceptable outcome is nominated.
PO19 Development must ensure safe, convenient and legible connections and pathways are provided: <ul style="list-style-type: none"> (a) for pedestrians and cyclists to, from and within the site (b) to public transport infrastructure, open space, parkland, centres and community-related activities. 	No acceptable outcome is nominated.
Landscape design	
PO20 Landscape elements are integrated in the building design through planting at various levels including on top of podiums, rooftops and within storeys. Note—Refer also to the Landscaping code.	No acceptable outcome is nominated.
PO21 Landscape treatments includes hard and soft elements that: <ul style="list-style-type: none"> (a) is of a character and durability that reflects the centre 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(b) enhance the appearance of the centre</p> <p>(c) extends from the street edge into building entrances, foyers and onto podiums</p> <p>(d) emphasises a clear pedestrian entry point</p> <p>(e) screen unsightly components</p> <p>(f) provide shading, and</p> <p>(g) reflects and reinforces a subtropical image through integrating landscape, outdoor and indoor spaces.</p> <p>Note—Refer also to the Landscaping code.</p>	
Amenity	
<p>PO22</p> <p>Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby land in a residential zone are minimised.</p>	<p>AO22.1</p> <p>Buildings are set back 3m from any boundary shared with a residential zone.</p>
	<p>AO22.2</p> <p>A 1.8m high solid screen fence is provided along all boundaries shared with a residential zone.</p>
	<p>AO22.3</p> <p>A landscaped buffer with a minimum width of 2m and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p>
	<p>AO22.4</p> <p>Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of 50% transparent to obscure views and maintain privacy for residents.</p>
<p>PO23</p> <p>Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the centre, having regard to:</p> <p>(a) noise</p> <p>(b) hours of operation</p> <p>(c) traffic</p> <p>(d) visual impact</p> <p>(e) signage</p> <p>(f) odour and emissions</p> <p>(g) lighting</p> <p>(h) access to sunlight</p> <p>(i) privacy, and</p> <p>(j) outlook.</p> <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>

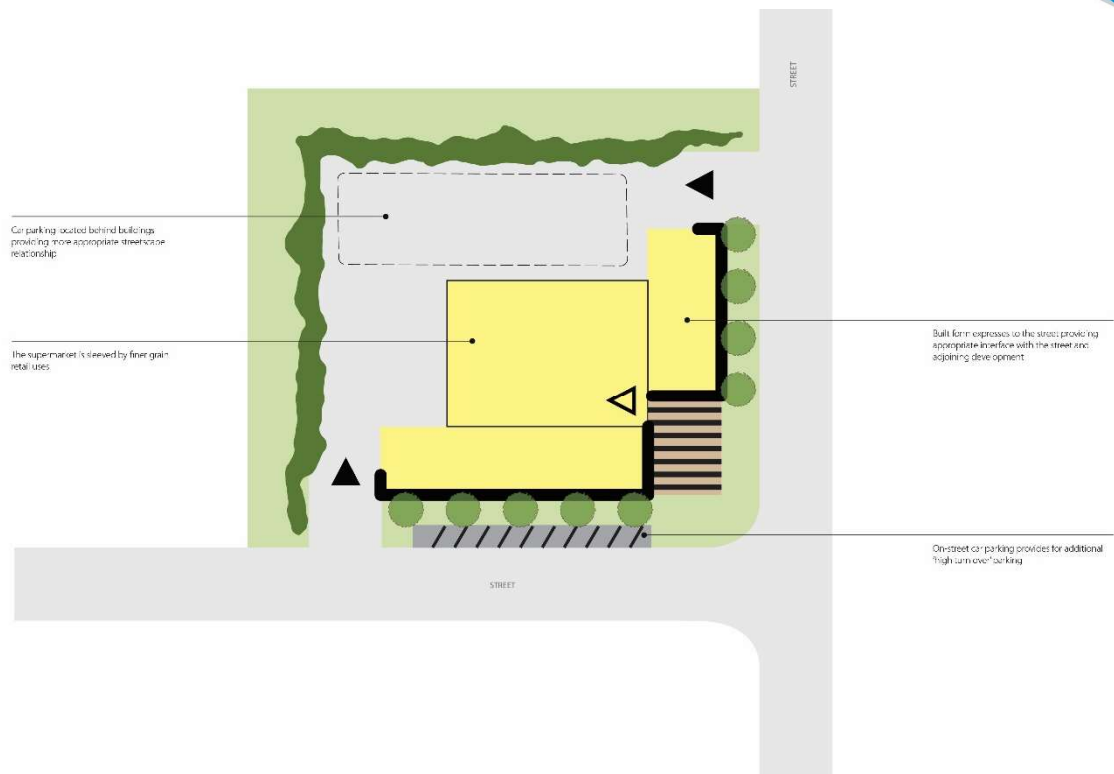
Performance outcomes	Acceptable outcomes
PO24 All uses are located, designed, orientated and constructed to: <ul style="list-style-type: none"> (a) minimise noise dust, odour or other nuisance from existing lawful uses, and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity. 	No acceptable outcome is nominated.
Car parking and access	
PO25 Parking and loading areas do not visually dominate the streetscape.	AO25.1 Parking areas are: <ul style="list-style-type: none"> (a) located in a basement or semi basement, or (b) setback a minimum of 15m from any street frontage and screened to allow a building edge for active uses. <p>Note—Refer also to Diagram 6.2.7.3.1— Parking design in neighbourhood centres.</p>
	AO25.2 Vehicle loading areas are screened from footpaths, streets and public areas by fences with screening at least 1.5m in height and are 50% visually permeable.
Storage areas	
PO26 Ancillary storage of goods or materials must be located in a manner that does not detract from the visual amenity of the local area.	AO26 Equipment, materials, goods and/or, machinery used on site are either: <ul style="list-style-type: none"> (a) stored behind the front building setback and screened from view, or (b) stored within a building.
Effects of development	
PO27 Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage line is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(f) there is adequate buffering, screening or separation to adjoining development.	
Use – Child care centre	
PO28 Development is: <ul style="list-style-type: none"> (a) compatible with neighbouring uses (b) complementary to local character and amenity (c) supports the day to day needs of residents (d) located on a site which must adequately accommodate activity needs and space requirements. 	No acceptable outcome is nominated.
PO29 Where adjoining a residential use or land in the residential zone, development must ensure residential amenity is maintained on adjoining properties.	AO29.1 Development provides a 1.8m acoustic screen fence where adjoining a residential use.
	AO29.2 Hours of operation are limited to between 6am and 7pm daily.
PO30 Development minimises: <ul style="list-style-type: none"> (a) the hazards of heavy traffic (b) introduction of non-local traffic into minor, residential streets, and (c) on-site conflict between children's activities, pedestrian movement, vehicle movement and car parking. 	AO30.1 The use is not accessed from: <ul style="list-style-type: none"> (a) arterial/sub-arterial routes, or (b) an access street or access place.
	AO30.2 Parking spaces are located so that children are not required to cross the driveway or vehicular access way to reach the building.

Diagram 6.2.7.3.1—Parking design in neighbourhood centres



Examples 1 & 2—Correct parking treatment



6.2.8 Sport and recreation

6.2.8.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.8.2 Purpose

- (1) The purpose of the sport and recreation zone code is to ensure:
 - (a) Development is designed to meet community needs for sporting and active recreation purposes.
 - (b) Development maximises community access and use of land for sport and active recreation purposes.
 - (c) Development minimises impacts where adjoining residential land and other sensitive receiving uses.
 - (d) Large scale sporting facilities that serve the regional population are located in accessible locations within Gladstone, Boyne Island, Tannum Sands, Calliope and Agnes Water.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Areas available for active sport and recreational pursuit such as playing fields, equestrian facilities, outdoor cultural facilities, educational activities, public swimming pools and outdoor courts are provided.
 - (b) Opportunities for sporting clubs using playing fields to establish in multi-purpose club facilities are facilitated.
 - (c) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.
 - (d) Development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling.
 - (e) Impacts on adjacent areas from development and activities within the zone are managed through buffering to adjacent sensitive land uses and appropriate design, siting and operation of facilities and infrastructure.
 - (f) Ancillary structures and buildings such as clubhouses, kiosks, shelters, stands, amenity facilities, picnic tables and playgrounds are provided where necessary to support safe access and essential management of sport and recreation areas.
 - (g) Areas of ecological significance, high scenic amenity or cultural heritage are protected from the adverse impacts of sport and recreation activities.
 - (h) Development responds to land constraints, including but not limited to topography, bushfire and flooding.
 - (i) Recreation areas make an important contribution to community liveability.
- (3) The purpose of this code will also be achieved through the following additional overall outcome for the following precinct:
 - (a) Benaraby Motor Sport precinct:
 - (i) Development provides for a Motor Sports Facility of regional significance.

6.2.8.3 Assessment benchmarks

Table 6.2.8.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development is: <ul style="list-style-type: none"> (a) ancillary to the primary use, and (b) does not compromise the sport and recreation function of this site. 	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker's accommodation is a maximum of 100m ² GFA.
Built form (if involving building work)	
PO2 Built form is of a height and scale that: <ul style="list-style-type: none"> (a) is low–medium rise and visually unobtrusive (b) protects residential amenity and minimises overshadowing and overlooking where adjoining an existing residential use or a residential zone, and (c) does not restrict access to, utility or enjoyment of the land for sport and recreation purposes. 	AO2.1 Building height does not exceed 12m.
	AO2.2 The site cover of all buildings and structures does not exceed the lesser of 40% of the total site area or 400m ² .
Amenity	
PO3 Development provides adequate separation, screening and buffering from any adjoining residential premises or residential zone so that residential privacy and amenity is not adversely affected.	AO3.1 Development that shares a boundary with a residential premises or residential zone requires a minimum boundary setback of 6m for: <ul style="list-style-type: none"> (a) temporary structures including markets (b) active outdoor use or sporting areas (c) site access points (d) car parking areas, and (e) servicing or outdoor storage areas.
	AO3.2 Development that shares a boundary with a residential premises or residential zone must ensure all buildings: <ul style="list-style-type: none"> (a) are setback a minimum of 15m from that common boundary, and (b) include a minimum 1.8m high solid screen fence along that common boundary, or (c) a landscaped buffer area consisting of dense screen planting of a minimum 3m width along that common boundary. Note—Refer also to the Landscape code.

Performance outcomes	Acceptable outcomes
	A03.3 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of 50% transparent.
PO4 Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	A04.1 Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> as amended.
	A04.2 Outdoor lighting is provided in accordance with <i>Australian Standard AS1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements</i> as amended.
PO5 Development must not unreasonably affect the amenity of the surrounding area.	A05 Hours of operation are limited to between 7am and 10pm each day.
For all assessable development	
Land use	
PO6 Development facilitates the optimum enjoyment and use of the land for sport and recreation purposes.	No acceptable outcome is nominated.
PO7 Non–recreation uses occur only where they directly support the primary sport and recreation function of the site or are a compatible community–related activity.	No acceptable outcome is nominated.
PO8 Buildings, structures and use areas are designed to ensure efficient use of buildings and facilities, and provide for multiple or shared use of facilities where practicable.	No acceptable outcome is nominated.
Design and amenity	
PO9 Development does not detract from the site’s visual quality values.	No acceptable outcome is nominated.
PO10 Development does not impede public access to, and use of facilities.	No acceptable outcome is nominated.
PO11 Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to: <ul style="list-style-type: none"> (a) noise (b) traffic and parking 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(c) visual impact</p> <p>(d) signage</p> <p>(e) odour and emissions</p> <p>(f) access to sunlight, and</p> <p>(g) privacy.</p> <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	
<p>PO12</p> <p>Landscaping:</p> <p>(a) enhances visual amenity</p> <p>(b) integrates with the sport and recreation setting</p> <p>(c) allows for active recreational and sporting activities to occur, and</p> <p>(d) ensures the sport and recreation area is highly accessible.</p> <p>Note—Refer also to the Landscape code.</p>	No acceptable outcome is nominated.
<p>PO13</p> <p>Development must ensure safe and legible connections are provided for:</p> <p>(a) pedestrians and cyclists to, from and within the site</p> <p>(b) public transport infrastructure</p> <p>(c) other parts of the sport and recreation network, and</p> <p>(d) open space, parkland, centres and community-related activities.</p>	No acceptable outcome is nominated.
<p>PO14</p> <p>The site layout and design responds sensitively to on-site and surrounding topography, coastal foreshore areas, waterways, drainage patterns, ecological values by:</p> <p>(a) any hazards to people or property are avoided</p> <p>(b) any earthworks are minimised</p> <p>(c) the retention of natural drainage lines is maximised</p> <p>(d) the retention of existing vegetation is maximised</p> <p>(e) damage or disruption to sewerage, stormwater detention and water infrastructure is avoided, and</p> <p>(f) there is adequate buffering, screening or separation to adjoining development.</p>	No acceptable outcome is nominated.
<p>PO15</p> <p>Development is designed to achieve safety for all users having regard to:</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) avoiding personal concealment and entrapment locations (c) exterior building design that promotes safety (d) adequate lighting (e) appropriate signage and wayfinding, and (f) building entrances, parking areas, loading and storage areas that are well lit and have clearly defined access points. <p>Note—Applicants may find useful guidance in the Queensland Government's Crime Prevention through Environmental Design Guidelines for Queensland.</p>	
If in the Benaraby Motor Sport precinct	
<p>PO16</p> <p>Development:</p> <ul style="list-style-type: none"> (a) is limited to Motor Sport Facility and associated uses. (b) appropriately manages environmental and amenity impacts on surrounding areas, and (c) provides a functional layout that supports Motor Sport Facility uses. 	No acceptable outcome is nominated.

6.2.9 Open space

6.2.9.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.9.2 Purpose

- (1) The purpose of the open space zone code is to ensure:
 - (a) The provision of informal recreation areas where the built form is restricted and subservient to the enjoyment of the space.
 - (b) Open space acts as a buffer from built form in urban areas.
 - (c) Places that contribute to the visual amenity and landscape character of the region are protected.
 - (d) Development maximises community access and use of open space and parkland.
 - (e) Parkland is designed to meet community needs for informal and passive recreation purposes.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Open space is accessible to the general public for a range of outdoor activities.
 - (b) A range of functional and accessible open spaces, including local, district and regional scale parks and linkages are available for the use and enjoyment of residents and visitors.
 - (c) Development contributes towards open space and pathway linkages to the:
 - (i) Lilly Hills Environmental Reserve
 - (ii) Boyne River Open Space System
 - (iii) Canoe Point Environmental Reserve
 - (iv) foreshore areas linking with the existing pathway networks.
 - (d) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.
 - (e) Development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling.
 - (f) Ancillary structures and buildings such as shelters, amenity facilities, picnic tables, and playgrounds and infrastructure are provided where necessary to support safe access and essential management of open space areas.
 - (g) Land that is susceptible to flooding or drainage problems, including high groundwater tables, is protected from inappropriate activities or facilities.
 - (h) Where open space areas include natural habitats such as bushland, wetlands or waterways, or act as a buffer between natural and developed areas, adverse impacts on areas of ecological significance are avoided where possible.
 - (i) The use of open space areas does not affect the amenity of adjacent areas, particularly residential areas.
 - (j) Open space areas are planned and designed to enhance community liveability, scenic amenity and provide a retreat from developed areas.

6.2.9.3 Assessment benchmarks

Table 6.2.9.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development is: <ul style="list-style-type: none"> (a) ancillary to the primary use, and (b) does not compromise the open space and parkland function of this site. 	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker's accommodation is a maximum of 100m ² GFA.
Built form (if involving building work)	
PO2 Built form: <ul style="list-style-type: none"> (a) is low rise (b) is visually unobtrusive and integrates within the open space and parkland character (c) does not dominate the open space and parkland setting, and (d) does not restrict access to, utility or enjoyment of the open space. 	AO2.1 Building height does not exceed 8.5m.
	AO2.2 The site cover of all buildings and temporary structures such as markets and does not exceed the lesser of 10% of the total site area or 400m ² .
Separation of uses	
PO3 Development provides adequate separation, screening and buffering from any adjoining residential uses or residential zone so that residential privacy and amenity is not adversely affected.	AO3 Where development (not including a club or community use) adjoins a residential premises or residential zone, a minimum boundary setback of 6m is required for: <ul style="list-style-type: none"> (a) buildings (b) temporary structures including markets (c) active outdoor use areas (d) site access points (e) car parking areas, and (f) servicing or outdoor storage areas.
For all assessable development	
Land use	
PO4 Development facilitates the optimum enjoyment and use of the land for open space and parkland purposes.	No acceptable outcome is nominated.
PO5 Non–recreation uses occur only where they directly support the primary open space and parkland function of the site or are a compatible community–related activity.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO6 Development does not impede public access to: <ul style="list-style-type: none"> (a) parkland (b) public foreshore areas, and (c) the use of parkland facilities. 	No acceptable outcome is nominated.
Design and amenity	
PO7 Development does not detract from the site's cultural values, visual quality, and landscape quality intent of the zone.	No acceptable outcome is nominated.
PO8 Landscaping: <ul style="list-style-type: none"> (a) enhances visual amenity (b) integrates with the open space and parkland setting (c) allows for passive recreational activities to occur (d) can provide screening to active use areas where adjoining residential use, and (e) ensures open space and parkland is highly accessible. Note—Refer also to the Landscaping code.	No acceptable outcome is nominated.
PO9 Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to: <ul style="list-style-type: none"> (a) noise (b) traffic and parking (c) visual impact (d) signage (e) odour and emissions (f) lighting (g) access to sunlight, and (h) privacy. Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.	No acceptable outcome is nominated.
PO10 Development responds sensitively to on-site and surrounding topography, drainage patterns, coastal foreshores, waterways, utility services, access, vegetation and adjoining land uses, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	
<p>PO11</p> <p>Development must ensure safe and legible connections are provided for:</p> <ul style="list-style-type: none"> (a) pedestrians and cyclists to, from and within the site (b) public transport infrastructure (c) other parts of the open space network (d) sport and recreational activities, centres and community-related activities, and (e) emergency vehicles. 	No acceptable outcome is nominated.
<p>PO12</p> <p>Development is designed to achieve safety for all users having regard to:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines; (b) avoiding personal concealment and entrapment locations; (c) exterior building design that promotes safety; (d) adequate lighting; (e) appropriate signage and wayfinding; and (f) building entrances, parking areas, loading and storage areas that are well lit and have clearly defined access points. <p>Note—Applicants may find useful guidance in the Queensland Government's Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
Uses – Club and Community use	
<p>PO13</p> <p>Development is located and designed to minimise adverse impacts on:</p> <ul style="list-style-type: none"> (a) the amenity of open space and parkland, and (b) the amenity of neighbours. 	<p>AO13.1</p> <p>Development has a maximum GFA of 250m².</p> <p>AO13.2</p> <p>Development that shares a boundary with a residential premises or land within a residential zone must ensure all buildings, car parking, servicing and outdoor storage areas:</p> <ul style="list-style-type: none"> (a) are setback a minimum of 15m from that common boundary, and

Performance outcomes	Acceptable outcomes
	<p>(b) include a minimum 1.8m high solid screen fence along that common boundary, or</p> <p>(c) a landscaped buffer area consisting of dense screen planting of a minimum 3m width along that common boundary.</p> <p>Note—Refer also to the Landscaping code.</p>
<p>PO14</p> <p>Development must not unreasonably affect the amenity of the surrounding area.</p>	<p>AO14</p> <p>Hours of operation are limited between 7am and 10pm daily.</p>

6.2.10 Environmental management

6.2.10.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.10.2 Purpose

- (1) The purpose of the environmental management zone code is to:
 - (a) Limit the scale of development in areas of environmental and visual amenity significance such as on the Gladstone harbour islands.
 - (b) Provide for small scale dwelling houses on lots and limited other low impact tourism and environmental related activities.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Low impact, small-scale rural type living opportunities and associated activities are facilitated where they do not adversely impact on any ecological, visual, scenic amenity or coastal character values.
 - (b) Adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development.
 - (c) Adverse impacts from on-site and adjoining sites are minimised or avoided through the location, design and management of development and activities.
 - (d) Development does not fragment regional or local environmental corridors and maintains linkages to areas with other ecological values.
 - (e) Development responds to land constraints, including but not limited to bushfire, flooding and minimising changes to natural topography.
 - (f) Very low intensity development related to the conservation and environmental values of the area may be facilitated where it does not detrimentally affect the environmental values of the area.
 - (g) Further lot reconfiguration does not occur in order to protect areas with high visual and environmental values.

6.2.10.3 Assessment benchmarks

Table 6.2.10.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development is: (a) ancillary to the primary use, and (b) does not compromise the low density, natural and open space function of the site.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker's accommodation is a maximum of 100m ² GFA.
Built form (if involving building work)	
PO2 Buildings and other structures: (a) are low rise, and (b) reflect the low density, natural and open space character of the area.	AO2.1 Building height does not exceed 8.5m.
	AO2.2 The maximum combined site cover of buildings and structures does not exceed the lesser of 10% of the total site area or 500m ² .
	AO2.3 Non-residential buildings have a maximum combined GFA of 300m ² .
Residential density	
PO3 Residential density reflects the low intensity and environmental character of the locality.	AO3.1 Residential density is limited to one dwelling house per allotment (including one secondary dwelling).
	AO3.2 Where a dwelling house, any secondary dwelling is: (a) a maximum of 80m ² GFA (b) located within 50m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.
For all assessable development	
Land use	
PO4 Development: (a) is consistent with the environmental character of the locality, and (b) protects rural, natural and scenic values of the locality.	No acceptable outcomes are nominated.

Performance outcomes	Acceptable outcomes
Effects of development	
PO5 Development responds sensitively to on-site and surrounding topography, drainage patterns, coastal foreshores, waterways, utility services, access, vegetation and adjoining land use, such that: <ol style="list-style-type: none"> any hazards to people or property are avoided any earthworks are minimised the retention of natural drainage line is maximised the retention of existing vegetation is maximised damage or disruption to sewerage, stormwater and water infrastructure is avoided, and there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
Use – Nature based tourism	
PO6 Development protects environmental values and is of a scale and intensity that does not compromise the low density and environmental character of the locality.	No acceptable outcome is nominated.

6.2.11 Conservation

6.2.11.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.11.2 Purpose

- The purpose of the conservation zone code is to provide for the protection, restoration and management of areas (such as National Parks) identified as supporting significant biological diversity and ecological integrity.
- The purpose of the zone will be achieved through the following overall outcomes:
 - The ecological values of land in the conservation zone are protected from the impacts of development.
 - Very low intensity development related to the conservation and environmental values of the area may be facilitated where a demonstrated community need exists.
 - Nature based tourism and outdoor recreation are facilitated where a demonstrated community need exists and the use does not detrimentally affect the environmental values of the area.
 - Adverse impacts from on-site and adjoining sites are minimised or avoided through the location, design and management of development and activities.
 - Activities undertaken by recognised traditional owners in accordance with traditional owner custom and practice may be considered.

- (f) Land is publicly accessible where this does not compromise other overall outcomes.
- (g) Development does not fragment regional or local environmental corridors and maintains linkages to areas with other ecological values.

6.2.11.3 Assessment benchmarks

Table 6.2.11.3.1—Assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development: (a) is ancillary to the primary use (b) does not compromise the low density, natural and open space character of the site.	A01.1 No more than 1 caretaker’s accommodation unit is established on the site.
	A01.2 The caretaker’s accommodation unit is a maximum of 100m ² GFA.
Uses – Food and drink outlet and Shop	
PO2 Development: (a) is very low in scale and size (b) supports, and is ancillary to, conservation and nature based activities on the land.	A02 Development is a maximum of 100m ² GFA.
Built form	
PO3 Buildings and other structures are of a height and size that reflects the very low density, natural and open space character of the area.	A03.1 Building height does not exceed 4.5m.
	A03.2 Buildings have a maximum combined GFA of 150m ² .
	A03.3 Development does not involve the clearing of native vegetation.
Land use	
PO4 Development is limited to: (a) activities which provide information, recreation or education of visitors directly connected to the values of the land (b) ancillary uses that directly support visitation to the land for conservation or recreation purposes (c) the establishment of infrastructure that cannot practicably be located elsewhere.	No acceptable outcome is nominated.
PO5 Development provides for public access to the land except where: (a) environmental values are adversely impacted (b) there is a risk to public safety.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Use – Nature based tourism	
PO6 Development protects environmental values and is of a scale and intensity that does not compromise the low density and environmental character of the locality.	No acceptable outcome is nominated.
Effects of development	
PO7 Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.

6.2.12 Low impact industry

6.2.12.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.12.2 Purpose

- (1) The purpose of the Low impact industry zone code is to provide for service and low impact industry uses that generally service local needs. Development may include non-industrial and business uses that support industrial activities where they do not compromise the long-term use of the land for industrial purposes. Development does not detract from the function and viability of the region's centres. Development facilitates the safe, efficient and attractive use of land for smaller scale industrial activities that generate low impacts. Land use activities must ensure they minimise impacts on surrounding land having regard to noise, vibration, odour, dust, light or other emissions. Adverse impacts on the health, safety or amenity of nearby residential zoned land or other sensitive land uses are minimised.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) The zone primarily accommodates a range of generally smaller scale industrial uses which have low levels of potential impacts on surrounding areas.
 - (b) The zone also accommodates limited activities of wholesale, trade supplies and indoor sport and recreation uses which are difficult to locate in other areas, where these have low levels of potential impacts on surrounding areas.

- (c) Other non-industrial uses that are ancillary to, and directly support, the industrial area are facilitated.
 - (d) The zone does not accommodate uses which are primarily oriented to retail sales which are more appropriately located in centres, such as shops, shopping centres and large format retail showrooms. Some showroom uses are well established in the Hanson Road precinct and may continue in this precinct but must not undermine the viability of specialised centre zone areas.
 - (e) Uses and works for industrial purposes are located, designed and managed to maintain safety to people, avoid significant adverse effects on the natural environment and minimise impacts on adjacent non-industrial land.
 - (f) Development maximises the use of existing transport infrastructure and has access to the appropriate level of transport infrastructure (railways, freight routes and motorways) and facilities such as airports and seaports.
 - (g) Development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling.
 - (h) Development is designed to incorporate sustainable practices including maximising energy efficiency and water conservation.
 - (i) The scale, character and built form of development contributes to a high standard of amenity and makes a positive contribution to the public domain and streetscape particularly along major roads.
 - (j) The viability of both existing and future low impact industry uses are protected from the intrusion of incompatible uses.
 - (k) Development responds to land constraints, including but not limited to topography, bushfire and flooding.
 - (l) Adverse impacts on natural features and processes, both on-site and from adjoining areas, are minimised through location, design, operation and management of development.
 - (m) Development avoids significant adverse effects on water quality and the natural environment.
 - (n) Industrial uses are adequately separated from sensitive land uses to minimise the likelihood of environmental harm or environmental nuisance occurring.
- (3) The purpose of the zone will also be achieved through the following additional overall outcomes for particular precincts:
- (a) Hanson Road precinct
 - (i) Development contributes to the region's automotive and trade supply needs through the display and sale of motor vehicles and associated automotive repair and related services and the retailing of trade supplies.
 - (ii) Development supports other types of showrooms at a small scale where it does not impact on the viability of the region's centres.

6.2.12.3 Assessment benchmarks

Table 6.2.12.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Uses – Agricultural supplies store, Garden centre and Hardware and trade supplies	

Performance outcomes	Acceptable outcomes
PO1 Development: (a) does not impact on the viability of the region's centres (b) does not compromise the low impact industry character of the locality, and (c) does not include large format, land consumptive commercial uses.	AO1 GFA does not exceed 250m ² for any Agricultural supplies store, Garden centre and Hardware and trade supplies.
Use – Caretaker's accommodation	
PO2 Development: (a) is subordinate to non-residential uses on the same site, and (b) provides adequate private open space for residents.	AO2.1 No more than 1 caretaker's accommodation unit is established per non-residential land use.
	AO2.2 Caretaker's accommodation is a maximum of 100m ² in GFA.
	AO2.3 Caretaker's accommodation is provided with a private open space area: (a) that is directly accessible from a habitable room, and (b) where a balcony, a verandah or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
Use – Office	
PO3 Offices are accommodated within the zone where they are ancillary to the primary use.	AO3 The area used for an office use does not exceed 100m ² GFA.
Use – Sales office	
PO4 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO4.1 Development of the sales office is in place for no more than two years.
	AO4.2 There are a maximum of 2 employees on site at any one time.
Built form (if involving building work)	
PO5 Buildings, outdoor storage and activity areas: (a) are appropriate to the height, scale, bulk and character of other buildings and	AO5.1 Building height does not exceed: (a) 11m, or (b) 8.5m where adjoining a residential premises or residential zone.

Performance outcomes	Acceptable outcomes
<p>activities in the surrounding industrial area, and</p> <p>(b) do not result in a significant loss of visual amenity.</p>	<p>A05.2</p> <p>Site cover including any outdoor storage areas and sales yards do not exceed:</p> <p>(a) 70% of the site, or</p> <p>(b) 90% of the site where in the Hanson Road precinct.</p>
<p>PO6</p> <p>Buildings, structures and low impact industry activities are setback from the road frontage to mitigate the impact of activities on the streetscape.</p>	<p>A06</p> <p>Buildings, structures and industrial activity areas are setback:</p> <p>(a) 5m for land on a sub-arterial or arterial road, and</p> <p>(b) 3m for land on a road other than a sub-arterial or arterial road.</p>
Site area (if involving building work)	
<p>PO7</p> <p>Development has sufficient area and frontage to accommodate the following:</p> <p>(a) all buildings and associated storage areas (e.g. stockpiles)</p> <p>(b) car parking areas located in a safe and accessible area</p> <p>(c) on site movement of delivery and service vehicles</p> <p>(d) vehicle access, and</p> <p>(e) landscaping.</p>	<p>A07</p> <p>Premises for the following uses have a minimum site area and frontage:</p> <p>(a) Low impact industry and other uses if not elsewhere identified</p> <p>(i) 1,000 m² site area</p> <p>(ii) 20m road frontage.</p> <p>(b) Service station</p> <p>(i) 1,500 m² site area</p> <p>(ii) 40m road frontage.</p>
Building design (if involving building work)	
<p>PO8</p> <p>Buildings include features that contribute to an attractive streetscape.</p>	<p>A08.1</p> <p>The unarticulated length of external walls along a road frontage does not exceed 15m.</p>
	<p>A08.2</p> <p>Buildings are designed and constructed with varying façade treatments and high quality finishes such as brick, painted concrete or masonry.</p>
<p>PO9</p> <p>Buildings do not incorporate glass or surfaces that are likely to reflect the sun that has the potential to cause nuisance, discomfort or hazard to any part of the city and adjoining urban areas.</p>	<p>A09</p> <p>Any reflective glass material, metallic shade structures or other surface has:</p> <p>(a) a level of light reflectivity that does not exceed 20%, and</p> <p>(b) a level of heat transmission of not less than 20%.</p>
<p>PO10</p> <p>Building entrances are legible and safe.</p>	<p>A010.1</p> <p>The main entry to the premises is:</p> <p>(a) easily identifiable and directly accessible from the street with a clearly defined entrance point, and</p> <p>(b) separate to vehicle access points.</p>

Performance outcomes	Acceptable outcomes
	AO10.2 Each building or tenancy is provided with a highly visible street and unit number.
	AO10.3 Premises are provided with external lighting sufficient to provide safe ingress and egress for site users.
	AO10.4 Office space is sited and orientated towards the principal road frontage of a site.
Amenity	
PO11 Utility elements (including refuse areas, outdoor storage, plant and equipment, loading and unloading areas) are screened from view from the street and any adjoining land in another zone.	AO11 Utility elements are: (a) located within or behind the building, or (b) screened by a 1.8m high solid wall or fence, or (c) behind landscaping having the same screening effect as a 1.8m screen fence. Note—Screening can be provided by any combination of the above treatments to meet the acceptable outcome.
PO12 Landscaping is provided to mitigate the visual impact of development and screen unsightly components.	AO12 A minimum 2m width of landscaping is provided along the entire principal road frontage excluding the driveway.
PO13 Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.	AO13.1 Development achieves the air quality design objectives set out in the Environmental Protection (Air) Policy 2008 , as amended. Note—To achieve compliance, development is planned, designed and managed to ensure emissions from activities to achieve the appropriate acoustic objectives (measured at the receptor dB(A)). AO13.2 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by: (a) being wholly enclosed in storage bins, or (b) a watering program so material cannot become airborne.
PO14 Development prevents or minimises the generation of any noise so that: (a) nuisance is not caused to adjoining premises or other nearby sensitive land uses, and (b) desired ambient noise levels in residential areas are not exceeded.	AO14 Development achieves the noise generation levels set out in the Environmental Protection (Noise) Policy 2008 , as amended.

Performance outcomes	Acceptable outcomes
PO15 Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	AO15.1 Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> .
	AO15.2 Outdoor lighting is provided in accordance with <i>Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic Category V) Lighting – Performance and Installation Design Requirements</i> .
PO16 Development provides for the collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur.	AO16.1 Areas where potentially contaminating substances are stored or used, are: <ul style="list-style-type: none"> (a) roofed and sealed with concrete, asphalt or similar impervious substance and bunded, and (b) located in an area free of flooding from a Defined flood event, and free from medium or high storm tide inundation.
	AO16.2 Provision is made for spills to be bunded and retained on site for removal and disposal by an approved means.
	AO16.3 Roof water is piped away from areas of potential contamination.
Hours of operation	
PO17 Hours of operation are limited to minimise nuisance to any surrounding sensitive land uses.	AO17.1 Where within 150m of a sensitive land use or land in a residential zone, hours of operation are limited to: <ul style="list-style-type: none"> (a) 7am to 6pm Monday to Friday, and (b) 7am to 12pm Saturday.
	AO17.2 Where in the Hanson Road precinct, hours of operation are limited to between 7am and 6pm Monday to Saturday.
For all assessable development	
Land use	
PO18 Development does not compromise the use of land for industry purposes.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO19 Development is of a low impact nature and is either: <ul style="list-style-type: none"> (a) a low impact industrial activity (b) trade related (c) difficult to locate in other zones due to land area or operational requirements (such as indoor sport and recreation uses), or (d) small in scale and ancillary to, or directly supports, the industrial functions of the area. 	No acceptable outcome is nominated.
PO20 Any Educational establishment must involve the provision of training exclusively and specifically related to industrial or trade related activities.	No acceptable outcome is nominated.
PO21 Where in the Hanson Road precinct, any showroom not associated with automotive and trade supplies: <ul style="list-style-type: none"> (a) is small scale; (b) does not form part of an integrated centre of showrooms; and (c) does not undermine the viability of the region's network of centres. 	AO21 Where in Hanson Road precinct any showroom not associated with automotive and trade supplies has a maximum of 2,500m ² GFA.
Amenity	
PO22 Where adjoining a residential zone or the Emerging community zone, development provides adequate buffering and screening so that adverse impacts on privacy and amenity on adjoining properties are minimised.	AO22.1 New buildings, plant and equipment, active outdoor use areas, site access and car parking, servicing or outdoor storage areas are set back a minimum of 5m from any boundary adjoining a residential zone or the Emerging community zone.
	AO22.2 Within the setback area adjoining a residential zone or the Emerging community zone, the following is provided: <ul style="list-style-type: none"> (a) a minimum 1.8m high solid boundary fence, and (b) a densely planted landscape strip, having a minimum width of 3m and the balance setback area turfed.
	AO22.3 Windows or openings that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of 50% transparent to obscure views into the adjoining residential building and maintain privacy for those residents.

Performance outcomes	Acceptable outcomes
<p>PO23</p> <p>Development is designed to facilitate the safety and security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of personal concealment and entrapment locations, and (f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points. <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO24</p> <p>Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
<p>PO25</p> <p>Development is located, designed and operated so that adverse environmental impacts and environmental harm on nearby land is minimised.</p>	No acceptable outcome is nominated.
Use – Food and drink outlet	
<p>PO26</p> <p>Development:</p> <ul style="list-style-type: none"> (a) occurs at a scale which provides for the day to day convenience needs of employees in the low impact industry area, and 	<p>AO26</p> <p>GFA including all seating areas does not exceed 150m².</p>

Performance outcomes	Acceptable outcomes
(b) does not impact on the viability of the region's centres.	
PO27 Development provides a safe environment for staff and patrons through: <ul style="list-style-type: none"> (a) adequate separation from the source of any emissions generated by surrounding uses, and (b) design and construction features which mitigate noise and air quality impacts on food preparation and dining areas. 	No acceptable outcome is nominated.
Use – Service station	
PO28 Buildings and structures allow for the safe operation of the service station.	AO28 All buildings and structures, including equipment associated with the service station operation are setback as follows: <ul style="list-style-type: none"> (a) 10m from the front boundary (b) 2m from the side and rear boundaries.
PO29 Retail components are ancillary to the service station use.	AO29 The maximum area of retail GFA is 80m ² .
Use - Showroom where in the Hanson Road precinct	
PO30 Design elements contribute to an interesting and attractive streetscape and building through: <ul style="list-style-type: none"> (a) variations in material and building form to enable articulation of facades and differentiation between buildings; (b) minimising the use of highly reflective materials; (c) modulation in the façade, horizontally or vertically; (d) articulation of building entrances and openings; (e) corner treatments to address both street frontages; and (f) elements which assist in wayfinding and legibility. 	No acceptable outcome is nominated.
PO31 Building caps and rooftops contribute to the architectural distinction of the building, and effectively screen service structures, lift over-runs, plant and equipment.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>PO32</p> <p>Buildings are oriented to:</p> <ul style="list-style-type: none"> (a) the major street frontages and any public open space and public areas to: <ul style="list-style-type: none"> (i) promote interaction and casual surveillance; (ii) concentrate and reinforce pedestrian activity; and (iii) avoid opaque facades to provide visual interest to the frontage. 	No acceptable outcome is nominated.
<p>PO33</p> <p>Building and pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and car parking areas; (b) incorporate sun and rain shelter, such as overhangs or awnings; and (c) are defined by human scale design elements (such as doors, windows, landscaping, etc.). 	No acceptable outcome is nominated.
<p>PO34</p> <p>Development contributes towards high quality streetscape outcomes that integrate effectively with the street and along key pedestrian and cycle routes.</p>	No acceptable outcome is nominated.
<p>PO35</p> <p>Landscape treatments includes hard and soft elements that:</p> <ul style="list-style-type: none"> (a) is of a character and durability that reflects the centre; (b) enhance the appearance of the centre (c) extends from the street edge into building entrances; (d) emphasises a clear pedestrian entry point; (e) screen unsightly components; (f) provide shading; and (g) reflects and reinforces a subtropical image through integrating landscape, outdoor and indoor spaces. <p><i>Editor's note –Refer also to the Landscaping code</i></p>	No acceptable outcome is nominated.

6.2.13 Medium impact industry

6.2.13.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.13.2 Purpose

- (1) The purpose of the Medium impact industry zone code is to provide for medium impact industry uses. Development may include non-industrial and business uses only where they support industrial activities and do not compromise the long-term use of the land for industrial purposes. Development does not detract from the function and viability of the region's centres. Marine industry activities are supported north of Beckinsale and Drewe Street on land fronting the Auckland inlet. Development facilitates the safe, efficient and attractive use of land for medium impact industries which require medium to large size lots for their intended operation. Land use activities must ensure they minimise impacts on surrounding land having regard to noise, vibration, odour, dust, light or other emissions. Adverse impacts on the health, safety or amenity of sensitive land uses are minimised.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) The zone accommodates a wide range of industrial uses that are likely to have some potential for off-site impacts, including manufacturing, transport, storage, and other uses which require larger sites in locations separated from sensitive land uses.
 - (b) Residential uses other than caretaker's accommodation are not located within close proximity to the industrial uses and activities in the zone.
 - (c) Low impact industry and Warehouse uses may be appropriate where they are not detrimentally affected by, or compromise the operations of medium impact industry uses.
 - (d) Other non-industrial uses that are ancillary to, and directly support, the industrial area are facilitated.
 - (e) The zone does not accommodate uses which are primarily oriented to retail sales and which are more appropriately located in centres, such as shops, shopping centres, showrooms or retail based hardware supplies.
 - (f) The intrusion of incompatible uses, or uses which may be more appropriately accommodated in other zones, is avoided to protect the availability of land for industrial purposes and the viability and efficient operation of existing and future industry uses.
 - (g) Lot sizes provide for a range of large format industrial uses and discourage take up of land for smaller scale activities better suited to the Low impact industrial zone on smaller sites.
 - (h) Uses and works for industrial purposes are located, designed and managed to maintain safety to people, avoid significant adverse effects on the natural environment and minimise impacts on adjacent non-industrial land.
 - (i) Development maximises the use of existing transport infrastructure and has access to the appropriate level of transport infrastructure (railways and motorways) and facilities such as airports and seaports.
 - (j) Development is designed to incorporate sustainable practices including maximising energy efficiency and water conservation.
 - (k) Development is safe and legible, and designed to establish safe and efficient movement systems.
 - (l) The scale, character and built form of development contribute to a high standard of amenity and makes a positive contribution to the public domain, particularly along major roads.
 - (m) Development responds to land constraints including but not limited to flooding.
 - (n) Development has access to development infrastructure and essential services.
 - (o) Adverse impacts on natural features and processes, both on-site and from adjoining areas, are minimised through location, design, operation and management of development.
 - (p) Development avoids significant adverse effects on water quality and the natural environment.
 - (q) Industrial uses are adequately separated from sensitive land uses to minimise the likelihood of environmental harm or environmental nuisance occurring.

- (3) The purpose of the zone will also be achieved through the following additional overall outcomes for particular precincts:

(a) Red Rover Road precinct

- (i) This precinct represents a large area of land suitable for medium impact industry uses
- (ii) Development occurs in accordance with an industrial structure plan that:
 - (A) establishes a mix of medium to large size lots (greater than 3,000m²) to facilitate medium impact industry land uses
 - (B) demonstrates appropriate infrastructure, services and transport connections can support industrial development
 - (C) establishes development footprints that respond to environmental constraints and hazards in the locality, and
 - (D) provides an appropriate interface to the Clinton Park residential area.

Note—Plans of development are to be accordance with the *Plan of development planning scheme policy*.

6.2.13.3 Assessment benchmarks

Table 6.2.13.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development for caretaker’s accommodation: (a) is subordinate to non–residential uses on the same site (b) provides adequate private open space for residents.	AO1.1 No more than 1 caretaker’s accommodation unit is established per non–residential land use.
	AO1.2 Caretaker’s accommodation is a maximum of 100m ² GFA.
	AO1.3 Caretaker’s accommodation is provided with a private open space area which: (a) is directly accessible from a habitable room, and (b) where a balcony, a verandah or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
Use – Office	
PO2 Offices are accommodated within the zone where they are ancillary to the primary use.	AO2 The area used for an Office use does not exceed 100m ² GFA.
Use – Sales office	
PO3 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO3.1 Development of the sales office is in place for no more than two years.
	AO3.2 There are a maximum of 2 employees on site at any one time.

Performance outcomes	Acceptable outcomes
Built form (if involving building work)	
PO4 Buildings and outdoor storage areas: <ul style="list-style-type: none"> (a) are appropriate to the scale, bulk and character of other buildings and activities in the surrounding industrial area or intended in the zone, and (b) do not result in a significant loss of visual amenity. 	AO4 Site cover including any outdoor storage area does not exceed 80% of the total site area.
PO5 Buildings, structures and industrial activities are setback from the road frontage to mitigate the impact of activities on the streetscape.	AO5 Buildings, structures and industrial activity areas are setback a minimum of: <ul style="list-style-type: none"> (a) 5m for land on a sub-arterial or arterial road, and (b) 3m for land on a road other than a sub-arterial or arterial road.
Site area (if involving building work)	
PO6 Development has sufficient area, frontage and buffers to accommodate the following: <ul style="list-style-type: none"> (a) the building or buildings and associated storage areas (e.g. stockpiles) (b) associated car parking areas located in a safe and accessible area (c) on site movement of delivery and service vehicles (d) separation of medium impact uses to adjoining non industrial land uses (e) vehicle access, and (f) landscaping. 	AO6 Premises for the following uses has a minimum site area, frontage and buffers as follows: <ul style="list-style-type: none"> (a) medium impact industry, renewable energy facility, major electricity infrastructure: <ul style="list-style-type: none"> (i) 4,000m² site area (ii) 40m road frontage (where not a major electricity infrastructure use) (iii) 5m wide buffer along all site boundaries that adjoin land not included in the medium impact industry or special industry zone (b) transport depot: <ul style="list-style-type: none"> (i) 4,000m² site area (ii) 40m road frontage (c) service station: <ul style="list-style-type: none"> (i) 1,500m² site area (ii) 40m road frontage (d) low impact industry and other uses if not elsewhere identified: <ul style="list-style-type: none"> (i) 4,000m² site area (ii) 40m road frontage.
Building design (if involving building work)	
PO7 Buildings include features that contribute to an attractive streetscape.	AO7.1 The unarticulated length of external walls along a road frontage does not exceed 15m.
	AO7.2 Buildings are designed and constructed with varying façade treatments and high quality finishes such as brick, painted concrete or masonry.

Performance outcomes	Acceptable outcomes
PO8 Buildings do not incorporate glass or surfaces that are likely to reflect the sun that has the potential to cause nuisance, discomfort or hazard to any part of the city and adjoining urban areas.	AO8 Any reflective glass material, metallic shade structures or other surface has: <ul style="list-style-type: none"> (a) a level of light reflectivity that does not exceed 20%, and (b) a level of heat transmission of not less than 20%.
PO9 Building entrances are legible and safe.	AO9.1 The main entry to the premises is: <ul style="list-style-type: none"> (a) easily identifiable and directly accessible from the street with a clearly defined entrance point, and (b) separate to vehicle access points. AO9.2 Each building or tenancy is provided with a highly visible street and unit number. AO9.3 Premises are provided with external lighting sufficient to provide safe ingress and egress for site users. AO9.4 Office space is sited and orientated towards the principal road frontage of a site.
Amenity	
PO10 Utility elements (including refuse areas, outdoor storage, plant and equipment, loading and unloading areas) are screened from view from the street and adjoining any land in another zone.	AO10 Utility elements are: <ul style="list-style-type: none"> (a) located within or behind the building, or (b) screened by a 1.8m high solid wall or fence, or (c) behind landscaping having the same screening effect as a 1.8m screen fence. Note—Screening can be provided by any combination of the above treatments to meet the acceptable outcome.
PO11 Landscaping is provided to mitigate the visual impact of development and screen unsightly components.	AO11 A minimum 2m width of landscaping is provided along the entire principal site frontage excluding driveway.
PO12 Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.	AO12.1 Development achieves the air quality design objectives set out in the Environmental Protection (Air) Policy 2008 , as amended. Note—To achieve compliance, development is planned, designed and managed to ensure emissions from activities to achieve the appropriate acoustic objectives (measured at the receptor dB(A)).

Performance outcomes	Acceptable outcomes
	<p>AO12.2</p> <p>Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins, or (b) a watering program so material cannot become airborne.
<p>PO13</p> <p>Development prevents or minimises the generation of any noise so that:</p> <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land uses, and (b) desired ambient noise levels in residential areas are not exceeded. 	<p>AO13</p> <p>Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2008</i>, as amended.</p>
<p>PO14</p> <p>Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.</p>	<p>AO14.1</p> <p>Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i>.</p> <p>AO14.2</p> <p>Outdoor lighting is provided in accordance with <i>Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic Category V) Lighting – Performance and Installation Design Requirements</i>.</p>
<p>PO15</p> <p>Development provides for the collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur.</p>	<p>AO15.1</p> <p>Areas where potentially contaminating substances are stored or used, are:</p> <ul style="list-style-type: none"> (a) roofed and sealed with concrete, asphalt or similar impervious substance and bunded, and (b) located in an area free of flooding by a Defined flood event, and free from medium or high storm tide inundation. <p>AO15.2</p> <p>Provision is made for spills to be bunded and retained on site for removal and disposal by an approved means.</p> <p>AO15.3</p> <p>Roof water is piped away from areas of potential contamination.</p>
For all assessable development	
Land use	
<p>PO16</p> <p>Development does not compromise the use of land for medium impact industry purposes.</p>	No acceptable outcome is nominated.
<p>PO17</p> <p>Development is of a medium impact nature and includes:</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(a) industrial activities whose impacts on the natural environment can be appropriately managed, or</p> <p>(b) uses which require medium to large sites in locations that are separated from sensitive land uses, and are not more appropriately accommodated in other zones, or</p> <p>(c) non-industrial uses which are small in scale and ancillary to or directly support the industrial functions of the area.</p>	
Design	
<p>PO18</p> <p>Development is designed to facilitate the safety and security of people and property having regard to:</p> <p>(a) maximising casual surveillance and sight lines</p> <p>(b) exterior building design that promotes safety</p> <p>(c) adequate lighting</p> <p>(d) appropriate signage and wayfinding</p> <p>(e) minimisation of personal concealment and entrapment locations, and</p> <p>(f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points.</p> <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO19</p> <p>Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <p>(a) any hazards to people or property are avoided</p> <p>(b) any earthworks are minimised</p> <p>(c) the retention of natural drainage line is maximised</p> <p>(d) the retention of existing vegetation is maximised</p> <p>(e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and</p> <p>(f) there is adequate buffering, screening or separation to adjoining development.</p>	No acceptable outcome is nominated.
PO20	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Development is located, designed and operated so that adverse environmental impacts and environmental harm on nearby land is minimised.	
Use – Food and drink outlet	
PO21 Development: (a) occurs at a scale which provides for the day to day convenience needs of employees in the medium impact industry area, and (b) does not impact on the viability of the region's centres.	AO21 GFA including all seating areas does not exceed 150m ² .
PO22 Development provides a safe environment for staff and patrons through: (a) adequate separation from the source of any emissions generated by surrounding uses, and (b) design and construction features which mitigate noise and air quality impacts on food preparation and dining areas.	No acceptable outcome is nominated.
Use – Service station	
PO23 Buildings and structures allow for the safe operation of the service station.	AO23 All buildings and structures, including equipment associated with the service station operation are setback as follows: (a) 10m from the front boundary (b) 2m from the side and rear boundaries.
PO24 Retail components are ancillary to the service station use.	AO24 The maximum area of retail GFA is 80m ² .

6.2.14 Special industry

6.2.14.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.14.2 Purpose

1. The purpose of the Special Industry zone code is to provide for high impact and specialised industry uses including those that are noxious and hazardous. These industrial activities are of a scale or nature which is of significance to the state and regional economy. Development may include non-industrial and business uses that support the industrial activities where they do not compromise the long-term use of the land for industrial purposes. Development does not detract from the function and viability of centres. Activities considered generally appropriate in this zone are defined as special industry and high impact industry in the schedule of definitions. Development facilitates the safe, efficient and attractive use of land for high impact and specialised industries which require large size lots, buffers

and separation distances to adjoining land uses and other zones for their intended operation. Land use activities must ensure they minimise impacts on surrounding land having regard to noise, vibration, odour, dust, light or other emissions. Adverse impacts on the health, safety or amenity of sensitive land uses are minimised.

2. The purpose of the zone will be achieved through the following overall outcomes:

- (a) A range of high impact, noxious and hazardous industrial uses that require large development sites with appropriate separation from other land use activities will be facilitated.
- (b) Residential and sensitive land uses other than caretaker's accommodation are not located within close proximity to the industrial uses and activities in the zone.
- (c) Non-industrial uses such as office uses that directly support the industrial area are facilitated.
- (d) The zone does not accommodate uses which are primarily oriented to retail sales and which are more appropriately located in centres, such as shops, shopping centres, showrooms or retail based hardware supplies.
- (e) The intrusion of incompatible uses, or uses which may be more appropriately accommodated in other zones, is avoided to protect the availability of land for industrial purposes and the viability and efficient operation of existing and future industry uses.
- (f) Lot sizes provide for a range of large format industrial uses and discourage take up of land for smaller scale activities better suited to other industrial zones.
- (g) Uses and works for special industrial purposes are located, designed and managed to maintain safety to people, avoid significant adverse effects on the natural environment and minimise impacts on adjacent nonindustrial land having regard to the inherent risks associated with these types of industries.
- (h) Development maximises the use of existing transport infrastructure and has access to the appropriate level of transport infrastructure (railways and motorways) and facilities such as airports and seaports.
- (i) Development is designed to incorporate sustainable practices including maximising energy efficiency and water conservation.
- (j) Development has access to development infrastructure and essential services.
- (k) Adverse impacts on natural features and processes, both on-site and from adjoining areas, are minimised through location, design, operation and management of development.
- (l) Development responds to land constraints, including but not limited to topography, bushfire and flooding.
- (m) Development avoids significant adverse effects on water quality and the natural environment.
- (n) Industrial uses are adequately separated from sensitive land uses to minimise the likelihood of environmental harm or environmental nuisance occurring.

6.2.14.3 Assessment benchmarks

Table 6.2.14.3.1—Assessable development

Performance outcomes	Acceptable outcomes
Built form	

Performance outcomes	Acceptable outcomes
PO1 Buildings and outdoor storage areas: <ul style="list-style-type: none"> (a) are appropriate to the scale, bulk and character of other buildings and activities in the surrounding industrial area or intended in the zone, and (b) do not result in a significant loss of visual amenity. 	No acceptable outcome is nominated.
PO2 Buildings, structures and high impact industry and specialised industrial activities are setback from the road frontage to mitigate the impact of activities on the streetscape.	AO2 Buildings, structures and industrial activity areas are setback: <ul style="list-style-type: none"> (a) 10m for land on a sub-arterial or arterial road, and (b) 6m for land on a road other than a sub-arterial or arterial road.
Site area (if involving building work)	
PO3 Development has sufficient area, frontage and buffers to accommodate the following: <ul style="list-style-type: none"> (a) the building or buildings and associated storage areas (e.g. stockpiles) (b) associated car parking areas located in a safe and accessible area (c) on site movement of delivery and service vehicles (d) vehicle access (e) separation of high impact and specialised industry uses to adjoining non industrial land uses, and (f) landscaping. 	AO3 Premises for the following uses has a minimum site area, frontage and buffers as follows: <ul style="list-style-type: none"> (a) high Impact industry and Special industry: <ul style="list-style-type: none"> (i) 1 hectare site area (ii) 60m road frontage (iii) 20m wide buffer along all site boundaries that adjoin uses other than special industry uses. (b) renewable energy facility, major electricity infrastructure <ul style="list-style-type: none"> (i) 4,000m² site area (ii) 40m road frontage (where not a major electricity infrastructure use) (iii) 10m wide buffer along all site boundaries that adjoin land not included in the medium impact industry, high impact industry or special industry zone (c) Other uses not elsewhere identified <ul style="list-style-type: none"> (i) 4,000m² site area (ii) 40m road frontage (d) Service station <ul style="list-style-type: none"> (i) 1,500m² site area (ii) 40m road frontage.
Land use	
PO4 Development: <ul style="list-style-type: none"> (a) does not compromise the use of land for high impact and specialised industry purposes 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(b) accommodates industrial uses with potential for high, noxious or hazardous impacts</p> <p>(c) requires larger sites in locations that are well separated from sensitive land uses, and</p> <p>(d) does not accommodate uses that attract members of the public who are not employed in the zone.</p>	
Building design	
<p>PO5</p> <p>Buildings include features that contribute to an attractive streetscape.</p>	<p>A5.1</p> <p>The unarticulated length of external walls along a road frontage does not exceed 15m.</p>
	<p>A05.2</p> <p>Buildings:</p> <p>(a) are designed and constructed with varying façade treatments and high quality finishes such as brick, painted concrete or masonry, and</p> <p>(b) do not incorporate highly reflective materials.</p>
<p>PO6</p> <p>Building entrances are legible and safe.</p>	<p>A06.1</p> <p>The main entry to the premises is:</p> <p>(a) easily identifiable and directly accessible from the street with a clearly defined entrance point, and</p> <p>(b) separate to vehicle access points.</p>
	<p>A06.2</p> <p>Each building or tenancy is provided with a highly visible street and unit number.</p>
	<p>A06.3</p> <p>Premises are provided with external lighting sufficient to provide safe ingress and egress for site users.</p>
	<p>A06.4</p> <p>Office space is sited and orientated towards the principal road frontage of a site.</p>
<p>PO7</p> <p>Development is designed to facilitate the safety and security of people and property having regard to:</p> <p>(a) maximising casual surveillance and sight lines</p> <p>(b) exterior building design that promotes safety</p> <p>(c) adequate lighting</p> <p>(d) appropriate signage and wayfinding</p> <p>(e) minimisation of personal concealment and entrapment locations, and</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>(f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points.</p> <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	
Amenity	
<p>PO8</p> <p>Utility elements (including refuse areas, outdoor storage, plant and equipment, loading and unloading areas) are screened from view from the street and adjoining any land in another zone.</p>	<p>AO8</p> <p>Utility elements are:</p> <ul style="list-style-type: none"> (a) located within or behind the building, or (b) screened by a 1.8m high solid wall or fence, or (c) behind landscaping having the same screening effect as a 1.8m screen fence. <p>Note—Screening can be provided by any combination of the above treatments to meet the acceptable outcome.</p>
<p>PO9</p> <p>Landscaping is provided to mitigate the visual impact of development and screen unsightly components.</p> <p>Note—Refer also to the Landscaping code.</p>	<p>AO9</p> <p>Landscaping is provided along the entire principal site frontage, excluding driveway, with a minimum width of:</p> <ul style="list-style-type: none"> (a) 4m along an arterial road, and (b) 2m along any other road.
<p>PO10</p> <p>Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.</p>	<p>AO10.1</p> <p>Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i>.</p> <p>AO10.2</p> <p>Outdoor lighting is provided in accordance with <i>Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic Category V) Lighting – Performance and Installation Design Requirements</i>.</p>
Effects of development	
<p>PO11</p> <p>Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage line is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
PO12 Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.	AO12.1 Development achieves the air quality design objectives set out in the Environmental Protection (Air) Policy 2008 , as amended.
	AO12.2 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by: <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins, or (b) a watering program so material cannot become airborne.
PO13 Development prevents or minimises the generation of any noise so that: <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land uses, and (b) desired ambient noise levels in residential areas are not exceeded. 	AO13 Development achieves the noise generation levels set out in the Environmental Protection (Noise) Policy 2008 , as amended.
PO14 Development provides for the collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur.	AO14.1 Areas where potentially contaminating substances are stored or used, are: <ul style="list-style-type: none"> (a) roofed and sealed with concrete, asphalt or similar impervious substance and bunded, and (b) located in an area free of flooding by a Defined flood event, and free from medium or high storm tide inundation.
	AO14.2 Provision is made for spills to be bunded and retained on site for removal and disposal by an approved means.
	AO14.3 Roof water is piped away from areas of potential contamination.
PO15 Development is located, designed and operated so that adverse environmental impacts and environmental harm on nearby land is minimised. Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.	No acceptable outcome is nominated.
Use – Caretaker’s accommodation	
PO16 Development for caretaker’s accommodation: <ul style="list-style-type: none"> (a) is subordinate to non-residential uses on the same site 	AO16.1 No more than 1 caretaker’s accommodation unit is established per non-residential land use.
	AO16.2

Performance outcomes	Acceptable outcomes
(b) provides adequate private open space for residents.	Caretaker's accommodation is a maximum of 100m ² GFA. AO16.3 Caretaker's accommodation is provided with a private open space area which: (a) is directly accessible from a habitable room, and (b) where a balcony, a verandah or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
AO17 Development for caretaker's accommodation provides a safe living environment for residents through: (a) adequate separation from the source of any emissions generated by the primary use of the site, and (b) design and construction features which mitigate noise, lighting and air quality impacts on habitable rooms.	No acceptable outcome is nominated.
Use – Office	
PO18 Offices are accommodated within the zone where they are ancillary to the primary use.	AO18 The area used for an Office use does not exceed 250m ² GFA.
Use – Service station	
PO19 Buildings and structures allow for the safe operation of the service station.	AO19 All buildings and structures, including equipment associated with the service station operation are setback as follows: (a) 10m from the front boundary (b) 2m from the side and rear boundaries.
PO20 Retail components are ancillary to the service station use.	AO20 The maximum area of retail GFA is 80m ² .

6.2.15 Industry investigation

6.2.15.1 Application

This code applies to development where the code is identified as applicable in a table of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.15.2 Purpose

- (1) The purpose of the industry investigation zone code is to identify and protect land that may be suitable for industrial activities in the future. The immediate development of this land is generally inappropriate owing to one or more constraints. These constraints may include a lack of trunk infrastructure necessary to service industrial development and also resolving hydraulic issues in the locality. However, some low scale land uses may be appropriate where onsite services are provided.

Note—Future industrial development must be in accordance with an approved Plan of development. SC6.3 Plans of development provide further guidance on these matters.

- (2) The purpose of the zone will be achieved through the following overall outcomes:
- (a) Land that is suitable for industrial purposes is only developed where suitable trunk or onsite infrastructure is provided to service the development.
 - (b) Where development proposes onsite infrastructure, land uses are of a scale and nature that do not compromise the future development potential of the area for industrial purposes.
 - (c) Land that is suitable for future industrial purposes is located to minimise impacts on non-industrial land.

6.2.15.3 Assessment benchmarks

Table 6.2.15.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development:	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
(a) does not compromise the future industrial use of the site, and	AO1.2 The caretaker’s accommodation unit is a maximum of 100m ² GFA.
(b) provides adequate open space for the caretaker.	
Use – Sales office	
PO2 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO2.1 Development of the sales office is in place for no more than two years.
	AO2.2 There are a maximum of 2 employees on site at any one time.
Building height (if involving building work)	
PO3 Buildings are:	A03 Building height does not exceed 8.5m.
(a) low rise, and	
(b) consistent with the character of the area.	
For all assessable development	
Uses	
PO4 Development does not reduce or preclude the long-term use of land within the industry investigation area for industrial purposes.	No acceptable outcome is nominated.
Infrastructure	
PO5 Development is serviced with infrastructure commensurate with its needs.	No acceptable outcome is nominated.
Effects of development	
PO6	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>Development minimises impacts on non-industrial uses, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) traffic and parking (c) visual impact (d) vibrations (e) signage (f) odour and emissions, and (g) lighting. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	
<p>PO7</p> <p>Development responds sensitively to on-site and surrounding topography, drainage patterns, coastal foreshores, waterways, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
Use – Outdoor sport and recreation	
<p>PO8</p> <p>All buildings must:</p> <ul style="list-style-type: none"> (a) be associated with the Outdoor sport and recreation activity, and (b) low in scale and density. 	No acceptable outcome is nominated.
<p>PO9</p> <p>Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.</p>	<p>AO9.1</p> <p>Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> as amended.</p> <p>AO9.2</p> <p>Outdoor lighting is provided in accordance with <i>Australian Standard AS1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements</i> as amended.</p>

6.2.16 Major tourism

6.2.16.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the major tourism zone. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.16.2 Purpose

- (1) The purpose of the major tourism zone code is to provide for:
 - (a) Integrated resort complexes and facilities on parts of Heron Island, Quoin Island, Wilson Island and Lady Elliot Island that meet the needs of tourists at a scale consistent with the islands environmental values.
 - (b) A mix of uses including tourist facilities, resort complexes, tourist attractions, short-term accommodation, retail, education, research, community purpose, recreation and open space that support the needs of tourists and visitors.
 - (c) Permanent residential accommodation only for management and employed personnel may be appropriate.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Uses are subordinate to or directly associated with tourism activities particularly where included as part of an integrated development.
 - (b) A range of accommodation densities and types are provided to meet the needs of tourists, visitors, management and staff.
 - (c) Development protects and enhances the unique local, scenic, environmental, cultural and historic character of the locality.
 - (d) Development services the needs of tourists, visitors and staff.
 - (e) Development provides a high level of amenity.
 - (f) Development minimises adverse impacts on ecological values.
 - (g) Development responds to land and infrastructure constraints including topography, bushfire, flooding and coastal hazards.

6.2.16.3 Assessment benchmarks

Table 6.2.16.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development is: (a) ancillary to the primary use, and (b) does not compromise the low density, open space character of this area.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker’s accommodation is a maximum of 100m ² GFA.
Built form (if involving building work)	
PO2 Buildings and other structures: (a) are low rise, and (b) reflect a low density that maintains open space and coastal character.	A02 Building height does not exceed 8.5m.

Performance outcomes	Acceptable outcomes
For all assessable development	
Land use	
PO3 Non-tourism uses occur only where they: <ul style="list-style-type: none"> (a) are ancillary uses that are part of a resort complex, nature based tourism activity or other related tourist activity (b) are small-scale (c) support the development of the zone for short-term tourist accommodation purposes; or (d) are for educational or research purposes. 	No acceptable outcome is nominated.
Design	
PO4 Residential uses for visitors are designed to provide adequate: <ul style="list-style-type: none"> (a) private open space (b) communal open space, and (c) services and facilities to support intended short term stays. 	No acceptable outcome is nominated.
PO5 Buildings and structures do not compromise local, scenic, environmental and amenity values.	No acceptable outcome is nominated.
PO6 Development provides for public access to foreshore areas except where: <ul style="list-style-type: none"> (a) environmental values are adversely impacted, and (b) there is a risk to public safety. 	No acceptable outcome is nominated.
Amenity	
PO7 Development minimises impacts on surrounding land and uses, having regard to: <ul style="list-style-type: none"> (a) noise (b) hours of operation (c) visual impact (d) signage (e) odour and emissions (f) access to sunlight, and (g) privacy. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	No acceptable outcome is nominated.
PO8	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on-site environment and provide shading.</p> <p>Note—Refer also to the Landscaping code.</p>	
Protection of natural values	
<p>PO9</p> <p>The site layout and design responds sensitively to on-site and surrounding topography, coastal foreshore areas, waterways, drainage patterns, and ecological values, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) sewerage, stormwater and water infrastructure is sustainable; and (f) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>
Use – Nature based tourism	
<p>PO10</p> <p>Development protects environmental values and is of a scale and intensity that does not compromise the low density and environmental character of the locality.</p>	<p>AO10</p> <p>Development does not exceed more than one guest per 1,000m² of site area.</p>

6.2.17 Minor tourism

6.2.17.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the minor tourism zone. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.17.2 Purpose

1. The purpose of the minor tourism zone code is to provide for the ongoing operation of tourism activities employing less than 20 persons in coastal tourist parks and nature based tourism activities located throughout the region. Development provides for tourist facilities and related short term accommodation and services that provide for the needs of tourists and visitors. Permanent residential accommodation for only management and employed personnel may be appropriate.
2. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) A range of uses are provided where subordinate to or directly associated with the existing tourist park and nature based tourism opportunities activities.
 - (b) Development services the day to day convenience needs of tourists, visitors and staff.
 - (c) Development is of a scale that does not impact on the viability of surrounding centres.

- (d) Development provides a high level of amenity for visitors.
- (e) Development minimises adverse impacts on ecological values.
- (f) Development protects and enhances the unique local, scenic, environmental, cultural and historic character of the locality.
- (g) Development responds to land constraints including topography, bushfire, flooding and coastal hazards.

6.2.17.3 Assessment benchmarks

Table 6.2.17.3.1—Assessable development

Performance outcomes	Acceptable outcomes
Built form	
PO1 Buildings and other structures are: <ul style="list-style-type: none"> (a) low rise, and (b) designed to reflect a low density that maintains open space and coastal character. 	AO1 Building height does not exceed 8.5m.
Land use	
PO2 Development: <ul style="list-style-type: none"> (a) is primarily a tourist related activity, or (b) is directly associated with a tourist related activity. 	No acceptable outcome is nominated.
PO3 The scale of any ancillary kiosk or food and drink outlet: <ul style="list-style-type: none"> (a) serves the on-site needs of tourists and visitors, and (b) does not impact on retail activities occurring within surrounding centres. 	AO3 The combined maximum GFA of any ancillary kiosk and food and drink outlet does not exceed 100m ² .
Amenity	
PO4 Development provides adequate separation, screening and buffering from any adjoining residential premises or residential zone so that residential privacy and amenity is not adversely affected.	AO4.1 Where adjoining a residential use or residential zone: <ul style="list-style-type: none"> (a) a minimum side and rear boundary setback of 3m is required for any: <ul style="list-style-type: none"> (i) ancillary kiosk or food and drink outlet premises (ii) site access points, and (iii) car parking areas (b) a minimum boundary setback of 10m is required for any: <ul style="list-style-type: none"> (i) amenity buildings (ii) servicing or outdoor storage areas (iii) temporary structures including caravans and tents, and (iv) active outdoor use areas.

Performance outcomes	Acceptable outcomes
	AO4.2 Plant and air-conditioning equipment is screened from view of the road or adjoining residential activity.
PO5 Development must not unreasonably affect the amenity of the surrounding area.	AO5 Hours of operation of any ancillary kiosk or food and drink outlet are limited to 6am to 8pm.
PO6 Development minimises impacts on surrounding land and uses, having regard to: <ul style="list-style-type: none"> (a) noise (b) visual impact (c) signage (d) odour and emissions (e) lighting (f) access to sunlight, and (g) privacy. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	No acceptable outcome is nominated.
Protection of natural values	
PO7 The site layout and design responds sensitively to on-site and surrounding topography, coastal foreshore areas, waterways, drainage patterns, and ecological values such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
Use – Nature based tourism	
PO8 Development protects environmental values and is of a scale and intensity that does not compromise the low density and environmental character of the locality.	AO8 Development does not exceed more than one guest per 1,000m ² of site area.

6.2.18 Community facilities

6.2.18.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.18.2 Purpose

1. The purpose of the community facilities zone code is to:
 - (a) provide for community related activities and facilities whether under public or private ownership;
 - (b) ensure all communities have access to a range of community services and facilities which meet local needs; and
 - (c) locate higher order community facilities generally in the Gladstone urban area.
2. Community facilities may include the provision of municipal services, government installations, hospitals and schools and community infrastructure of an artistic, social or cultural nature.
3. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Development is generally consistent in scale, height and bulk with that of surrounding development.
 - (b) Community facilities are in highly accessible locations and are designed to promote safe and efficient public use, walking and cycling.
 - (c) Adverse impacts on natural features and processes are avoided.
 - (d) Development is sited, designed and operated in a way that does not adversely impact on the amenity of adjoining properties.
 - (e) Development is designed to incorporate sustainable practices including maximising energy efficiency and water conservation.
 - (f) Impacts on adjacent areas from development and activities within the zone are managed through buffering to adjacent sensitive land uses and appropriate design, siting and operation of facilities and infrastructure.
 - (g) Areas of ecological significance, high scenic amenity or cultural heritage are protected from the adverse impacts of sport and recreation activities.
 - (h) Development responds to land constraints, including but not limited to topography, bushfire and flooding.

6.2.18.3 Assessment benchmarks

Table 6.2.18.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker accommodation	
PO1 Development: (a) is ancillary to the primary use, and (b) provides adequate open space for the caretaker.	AO1.1 No more than 1 caretaker's accommodation unit is established on the site.
	AO1.2 The caretaker's accommodation unit is a maximum of 100m ² GFA.

Performance outcomes	Acceptable outcomes
	<p>AO1.3</p> <p>Private open space area is provided which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m² with minimum horizontal dimensions of 1.25m.
Built form (if involving building work)	
<p>PO2</p> <p>Built form is of a height that:</p> <ul style="list-style-type: none"> (a) is low–medium rise and visually unobtrusive (b) protects residential amenity and minimises overshadowing and overlooking where adjoining an existing residential use or a residential zone. 	<p>AO2</p> <p>Building height does not exceed 12m.</p>
<p>PO3</p> <p>Front building setbacks and orientation provide for an attractive streetscape that is compatible with existing characteristics of the local area.</p>	<p>AO3.1</p> <p>Buildings have their main facade and entry facing the street</p>
	<p>AO3.2</p> <p>Front boundary setbacks for buildings are:</p> <ul style="list-style-type: none"> (a) within 20% of the average front setback of adjoining buildings, or (b) where there are no adjoining buildings, 6m.
<p>PO4</p> <p>Development minimises the bulk of buildings to assist integration with surrounding development and character of the locality.</p>	<p>AO4</p> <p>Walls are articulated so that they do not exceed a length of 15m without a change in plane of at least 1m depth.</p>
Amenity	
<p>PO5</p> <p>Development provides adequate separation and buffering from any adjoining residential premises or residential zone so that residential privacy and amenity is not adversely affected.</p>	<p>AO5.1</p> <p>Buildings are set back 3m or half the height of that part of the building, whichever is the greater, from any boundary shared with a residential use or land within a residential zone.</p>
	<p>AO5.2</p> <p>Where development adjoins a residential use or land within a residential zone:</p> <ul style="list-style-type: none"> (a) a 1.8m high solid screen fence is provided along that common boundary, or (b) a landscaped buffer with a minimum width of 3m and consisting of dense screen planting is provided along that common boundary. <p>Note—Refer also to the Landscaping code.</p>

Performance outcomes	Acceptable outcomes
	<p>A05.3 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of 50% transparent to obscure views and maintain privacy for residents.</p> <p>A05.4 Plant and air-conditioning equipment is screened from view of the road or adjoining residential activity.</p>
<p>PO6 The amenity of the locality is not unreasonably affected as a result of the development.</p>	<p>A06 Hours of operation are limited to: (a) 7am to 6pm, or (b) 6am to 10pm where not adjoining an existing residential use or land within a residential zone.</p>
<p>PO7 Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.</p>	<p>A07.1 Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> as amended.</p> <p>A07.2 Outdoor lighting is provided in accordance with <i>Australian Standard AS1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements</i> as amended.</p>
<p>PO8 Refuse storage areas and storage of goods or materials in open areas is presented in a manner that does not detract from the visual amenity of the locality.</p>	<p>A08 The open area used for the storage of refuse, vehicles, machinery, goods and materials used on the site is: (a) located no closer than 3m from any boundary, and (b) are screened from view by a 1.8m high solid screen.</p>
For all assessable development	
Uses	
<p>PO9 Non community related activities only occur where they: (a) support or are otherwise complementary, to the community related activities or facilities on the site, and (b) are subordinate to those community activities or facilities.</p>	<p>A09 Development for a shop or food and drink outlet is: (a) a maximum of 150m²; and (b) part of the building including community related activities. Otherwise no acceptable outcome is nominated</p>
<p>PO10 Development does not prejudice the ongoing operation and expansion of existing community related activities on the site.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
PO11 Development facilitates opportunities for appropriate co-location of community related activities or facilities.	No acceptable outcome is nominated.
Design and amenity	
PO12 Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to: <ul style="list-style-type: none"> (a) noise (b) traffic and parking (c) visual impact (d) signage (e) odour and emissions (f) access to sunlight, and (g) privacy. Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.	No acceptable outcome is nominated.
PO13 Development must ensure safe, convenient and legible connections are provided: <ul style="list-style-type: none"> (a) for pedestrians and cyclists to, from and within the site (b) to public transport infrastructure, open space, parkland, centres and community-related activities. 	No acceptable outcome is nominated.
PO14 Development is designed to achieve safety for all users having regard to: <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) avoiding personal concealment and entrapment locations (c) exterior building design that promotes safety (d) adequate lighting (e) appropriate signage and wayfinding, and (f) building entrances, parking areas, loading and storage areas that are well lit and have clearly defined access points. Note—Applicants may find useful guidance in the Queensland Government's Crime Prevention through Environmental Design Guidelines for Queensland .	No acceptable outcome is nominated.
PO15 Design elements contribute to an interesting and attractive streetscape and building through:	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) variations in material and building form to enable articulation of facades and differentiation between buildings (b) modulation in the façade, horizontally or vertically (c) articulation of building entrances and openings (d) corner treatments to address both street frontages (e) elements which assist in wayfinding and legibility, and (f) elements which relate to the context including surrounding buildings, parks, streets and open spaces. 	
Effects of development	
<p>PO16</p> <p>Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated
Use - Child care centre	
<p>PO17</p> <p>Development is:</p> <ul style="list-style-type: none"> (a) compatible with neighbouring uses (b) complementary to local character and amenity (c) supports the day to day needs of residents (d) located on a site which adequately accommodates activity needs and space requirements 	No acceptable outcome is nominated
<p>PO18</p> <p>Development does not adversely impact on the amenity of area.</p>	<p>AO18</p> <p>Hours of operation are limited to between 6am and 7pm daily.</p>

Performance outcomes	Acceptable outcomes
PO19 Development minimises: <ul style="list-style-type: none"> (a) the hazards of heavy traffic (b) introduction of non-local traffic into minor, residential streets, and (c) on-site conflict between children's activities, pedestrian movement, vehicle movement and car parking. 	AO19.1 The use is not accessed from: <ul style="list-style-type: none"> (a) arterial/sub-arterial routes, or (b) an access street or access place.
	AO19.2 Parking spaces are located so that children are not required to cross the driveway or vehicular access way to reach the building.

6.2.19 Emerging community

6.2.19.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.19.2 Purpose

1. The purpose of the emerging community zone code is to:
 - (a) Identify and conserve land that may be suitable for urban development in the future.
 - (b) Manage the timely conversion of non-urban land to urban purposes when needed to meet community needs.
 - (c) Development for the purpose of new urban communities is undertaken only where there is overriding community and economic need and in accordance with a Plan of development.

Note—Future urban development must be provided with a Plan of development in accordance with the *Plan of development planning scheme policy* and a Community and economic needs assessment in accordance with the *Community and economic needs assessment planning scheme policy*.

- (d) Prevent or discourage development that is likely to compromise appropriate longer term use.
2. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Development of land that is considered generally suitable for urban purposes only occurs after detailed planning studies have been undertaken to identify scenic, environmental and infrastructure constraints and opportunities.
 - (b) Interim development does not compromise the future development potential of the area for urban purposes and uses that are incompatible with residential uses are not encouraged.
 - (c) Development is based upon the efficient provision of infrastructure, consideration of environmental constraints and desired settlement pattern for the area.
 - (d) Significant historical, architectural, topographic, landscape, scenic, social, recreational and cultural features and associations, as well as natural habitat areas, wildlife corridors, wetlands and waterway corridors are protected and enhanced.
 - (e) Proposed roads and other transport corridors are coordinated and interconnected to ensure pedestrian, bike, public transport and private vehicles have accessibility between neighbourhoods, centres and other locations.
 - (f) Development responds to land constraints, including but not limited to topography, bushfire and flooding.

6.2.19.3 Assessment benchmarks

Table 6.2.19.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker's accommodation	

Performance outcomes	Acceptable outcomes
PO1 Development: (a) does not compromise the future urban use of the site, and (b) provides adequate open space for the caretaker.	AO1.1 No more than 1 caretaker's accommodation unit is established on the site.
	AO1.2 The caretaker's accommodation unit is a maximum of 100m ² GFA.
Use – Sales office	
PO2 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO2.1 Development of the sales office is in place for no more than two years.
	AO2.2 The site coverage of the building is a maximum of 50% of the site area.
	AO2.3 There are a maximum of 2 employees on site at any one time.
	AO2.4 The use operates between 9am and 6pm Monday to Saturday and 9am to 1pm on Sunday.
Building height (if involving building work)	
PO3 Buildings : (a) are low rise (b) do not create overshadowing on adjoining residential properties, and (c) do not adversely impact on the character and amenity of the area.	A03 Building height does not exceed 8.5m.
Residential density	
PO4 Development reflects the low density character of the area.	AO4.1 Residential density is limited to: (a) one dwelling house per allotment (including one secondary dwelling).
	AO4.2 Where a dwelling house, any secondary dwelling is: (a) a maximum of 80m ² GFA (b) located within 50m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.
For all assessable development	
Land use	
PO5 Interim non–urban development does not reduce or preclude the long–term use of the site or nearby land for urban purposes, having	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
regard to the scale and nature of the activity and its likely impacts.	
PO6 New urban communities are established whereby: <ul style="list-style-type: none"> (a) there is an overriding community and economic need; and (b) development is supported by a Plan of development. 	AO6.1 Development is provided with a Community and economic needs assessment in accordance with the <i>Community and economic needs assessment planning scheme policy</i> . AO6.2 Development is provided with a Plan of development in accordance with the <i>Plans of development planning scheme policy</i> .
Effects of development	
PO7 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
PO8 Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to: <ul style="list-style-type: none"> (a) noise (b) traffic and parking (c) visual impact (d) signage (e) odour and emissions, and (f) lighting. Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO9 Development is to: <ul style="list-style-type: none"> (a) minimise noise dust, odour or other nuisance from existing lawful uses including adjoining industrial uses (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of land in the low density residential zone. 	No acceptable outcome is nominated.
Use – Outdoor sport and recreation	
PO10 All buildings must: <ul style="list-style-type: none"> (a) be associated with the Outdoor sport and recreation activity, and (b) low in scale and density. 	No acceptable outcome is nominated.
PO11 Development provides adequate separation, screening and buffering from any adjoining residential premises or residential zone so that residential privacy and amenity is not adversely affected.	AO11.1 Development that shares a boundary with a residential premises or residential zone requires a minimum boundary setback of 6m for: <ul style="list-style-type: none"> (a) active outdoor use or sporting areas (b) site access points (c) car parking areas, and (d) servicing or outdoor storage areas.
	AO11.2 Development that shares a boundary with a residential premises or residential zone must ensure all buildings: <ul style="list-style-type: none"> (a) are setback a minimum of 15m from that common boundary, and (b) include a minimum 1.8m high solid screen fence along that common boundary, or (c) a landscaped buffer area consisting of dense screen planting of a minimum 3m width along that common boundary. Note—Refer also to the Landscape code.
PO12 Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	AO12.1 Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> as amended.
	AO12.2 Outdoor lighting is provided in accordance with <i>Australian Standard AS1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements</i> as amended.

6.2.20 Limited development

6.2.20.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.20.2 Purpose

- (1) The purpose of the limited development zone code is to limit the scale and form of development in those areas affected by significant development constraints:
 - (a) Such as localised flooding within the Gladstone urban area in the catchments of Police, Auckland, Carthurbie and Tigalee creeks; or
 - (b) In areas that act as buffers for major industrial development excluding the Gladstone State Development Area and Gladstone Port activities.
- (2) These constraints pose severe restrictions on the ability of the land to be developed for urban purposes.
- (3) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Development constraints limit the number and type of land uses that can occur.
 - (b) New uses and works reflect a low intensity nature, are provided with an appropriate level of infrastructure and access and are designed appropriately given the constraints of the land.
 - (c) Low impact, small scale living opportunities are facilitated where compatible with the area's values and not in close proximity to major industrial development.
 - (d) Low impact outdoor recreation activities are possible within the zone where compatible with the land constraints and the amenity of surrounding urban areas.
- (4) The purpose of the zone will also be achieved through the following additional overall outcomes for particular precincts:
 - (a) Flood affected lands precinct:
 - (i) Development is only permitted where it is compatible with the level of risk having regard to flow depth, flow velocity, rate of flood level rise and the duration of the inundation or the impacts of flooding can be managed such that there can be no foreseeable risk to personal safety or to property; and
 - (ii) Does not impact upon the hydraulic performance of the flood affected area; and
 - (iii) Does not result in an increase in the extent or severity of flood risk to the site or other land.
 - (b) Major industry buffer precinct:
 - (i) Inappropriate development does not encroach upon or impact on the continued operation of adjacent major industry activities.

6.2.20.3 Assessment benchmarks

Table 6.2.20.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker's accommodation	
PO1 Development:	AO1.1 No more than 1 caretaker's accommodation unit is established on the site.

Performance outcomes	Acceptable outcomes
(a) is ancillary to the primary use, and (b) provides adequate open space for the caretaker.	AO1.2 The caretaker's accommodation unit is a maximum of 100m ² in GFA.
Building height (if involving building work)	
PO2 Buildings and other structures: (a) are low rise, and (b) do not to adversely impact on the rural or open space character of the area.	AO2 Building height does not exceed 8.5m.
For all assessable development	
Land use	
PO3 Development is very low impact and compatible with the physical constraints of the land.	No acceptable outcome is nominated.
Amenity	
PO4 Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to: (a) noise (b) traffic and parking (c) visual impact (d) signage (e) odour and emissions (f) access to sunlight, and (g) privacy. Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.	No acceptable outcome is nominated.
PO5 Development does not unduly impact on the existing amenity and character of the locality having regard to: (a) the scale, siting and design of buildings and structures (b) visibility from roads and other public view points, screening vegetation and landscaping, and (c) the natural landform and avoidance of visual scarring.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
PO6 All uses: (a) minimise noise, dust, odour or other nuisance from existing lawful uses including industrial uses (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of the land.	No acceptable outcome is nominated.
PO7 Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	AO7.1 Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> as amended.
	AO7.2 Outdoor lighting is provided in accordance with <i>Australian Standard AS1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements</i> as amended.
Effects of development	
PO8 Development responds sensitively to on-site and surrounding topography, drainage patterns, coastal foreshores, waterways, utility services, access, vegetation and adjoining land use, such that: (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development.	No acceptable outcome is nominated.
If in the flood affected lands precinct	
PO9 Residential density reflects the constrained limited development potential of the land.	AO9.1 Residential density is limited to one dwelling house per allotment (including one secondary dwelling).
	AO9.2 Where a dwelling house, any secondary dwelling is: (a) a maximum of 80m ² GFA (b) located within 50m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.

Performance outcomes	Acceptable outcomes
If in the major industry buffer precinct	
PO10 Development does not encroach on surrounding existing or approved major industry operations or uses that may result in an impact on amenity, health or safety.	No acceptable outcome is nominated.
PO11 Development for any caretaker's accommodation provides a safe living environment for residents through: <ul style="list-style-type: none"> (a) adequate separation from the source of any emissions generated by the primary use of the site, and (b) design and construction features which mitigate noise, lighting and air quality impacts on habitable rooms. 	No acceptable outcome is nominated.

6.2.21 Mixed use

6.2.21.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.21.2 Purpose

- (1) The purpose of the mixed use zone code is to:
 - (a) Provide for a mixture of development that may include business, retail, residential, tourist accommodation, community, service industry, entertainment and associated services.
 - (b) Establish urban revitalisation areas in parts of the Valley, Toolooa Street west and the CBD fringe as high quality mixed use centres where people can live, work and play in Gladstone's inner city areas.
 - (c) Create an urban form characterised by high quality building design and streetscape outcomes.
 - (d) Ensure a level of amenity commensurate with an urbanised mixed use area.
 - (e) Provide opportunities for development which meets the short term accommodation needs of the resources and tourism sectors.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) A mix of uses and activities including small scale retail, commercial, tourism, service industry and residential uses are provided without detracting from the viability of the region's centres.
 - (b) A range of after-hours activities, particularly on primary frontages are promoted to support activation of the Valley where consistent with surrounding activity.

Note—Primary frontages are identified on the Building height and frontages overlay map.

- (c) The scale, character and built form of development contributes to a high standard of amenity.
- (d) Development encourages and facilitates urban consolidation and the efficient use of physical and social infrastructure.
- (e) Buildings are of a scale, height and size that complement the mixed use character for the area through design elements that reduce building bulk and create an attractive streetscape.

- (f) Development creates pleasant living environments that ensure privacy, access to sunlight, open space, ventilation and natural climate control.
 - (g) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.
 - (h) Development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling.
 - (i) Development is facilitated where uses provide a compact urban form.
 - (j) Development activates streets on primary frontages, promotes a mix of employment opportunities and enhances walking, cycling and public transport use.
 - (k) New development promotes and enhances Tank and Goondoon Streets as 'main streets' through high quality built form and streetscape treatments.
 - (l) Development responds to land constraints, including but not limited to bushfire, flooding and minimising changes to natural topography.
 - (m) Development mitigates any adverse impacts on adjoining areas of environmental significance, including creeks, gullies, waterways, wetlands, coastal areas, habitats, vegetation and bushland through location, design, operation and management requirements.
 - (n) Residential development is protected from the impacts of any nearby industrial activities, transport corridors, infrastructure, installations and major facilities.
 - (o) Development has access to development infrastructure and essential services.
- (3) The purpose of the zone will also be achieved through the following additional overall outcomes for particular precincts.
- (a) Jeffery Court precinct:
 - (i) Development supports coastal based tourism opportunities with a focus on Short term accommodation and small scale Food and drink outlets, Bars, retail and community uses. Other forms of Business and Centre activities are not supported.
 - (ii) Development with frontage to the foreshore must provide continuous public access to Main Beach that includes connections with Tom Jeffery Memorial Park and more broadly with linkages along the foreshore between the Surf Club to the north and the Headland to the south.
 - (iii) Development supports a mix of coastal tourism related uses and is of a height and scale that does not adversely impact on the coastal and visual character of the precinct or locality.

6.2.21.3 Assessment benchmarks

6.2.21.3.1 Table 6.2.21.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker's accommodation	
PO1 Development for caretaker's accommodation: (a) is subordinate to non-residential uses on the same site, and (b) provides adequate private open space for residents.	AO1.1 No more than 1 caretaker's accommodation unit is established on the site.
	AO1.2 Caretaker's accommodation is a maximum of 100m ² GFA.

Performance outcomes	Acceptable outcomes
	<p>AO1.3</p> <p>Caretaker's accommodation where on a primary frontage is located above the ground floor level, or to the rear of ground level business activities.</p> <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>
	<p>AO1.4</p> <p>Caretaker's accommodation is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m² with a minimum horizontal dimension of 1.25m.
Use – Dwelling unit	
<p>PO2</p> <p>Development does not compromise ground level business activities being established.</p>	<p>A02</p> <p>Dwelling units are located either above the ground floor level, or to the rear of ground level business activities.</p>
<p>PO3</p> <p>Development must provide sufficient and accessible open space for resident's needs.</p>	<p>A03</p> <p>Development provides a minimum of 16m² private open space for each dwelling with a minimum dimension of 3m in any direction.</p>
Uses – Food and drink outlet, Bar and Club	
<p>PO4</p> <p>Hours of operation are limited to minimise nuisance on residential uses.</p>	<p>A04</p> <p>Where adjoining, or part of a building with residential uses (not including short term accommodation):</p> <ul style="list-style-type: none"> (a) hours of operation are limited to between 7am and 10pm, and (b) the use does not involve amplified music audible external to the premises.
Use – Sales office	
<p>PO5</p> <p>The use does not adversely impact on the amenity of the surrounding land uses and local character.</p>	<p>A05.1</p> <p>Development of the sales office is in place for no more than two years.</p>
	<p>A05.2</p> <p>There are a maximum of 2 employees on site at any one time.</p>
Built form (if involving building work)	
<p>PO6</p> <p>Building height:</p> <ul style="list-style-type: none"> (a) is consistent with the intended character of the mixed use area, and (b) does not result in a significant loss of visual amenity. 	<p>A06</p> <p>Building height does not exceed that shown on the <i>Building height and frontages overlay map</i>.</p>

Performance outcomes	Acceptable outcomes
<p>PO7</p> <p>Podiums where located on a primary frontage:</p> <ul style="list-style-type: none"> (a) are low rise and human scale at street level (b) allow for active uses at street level that overlook the street or public thoroughfare. <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>	<p>AO7.1</p> <p>Development located on a primary frontage includes a podium that does not exceed 1 storey.</p> <p>AO7.2</p> <p>Development located on a primary frontage includes a minimum ground floor height of 4.5m (floor to floor).</p>
<p>PO8</p> <p>Development:</p> <ul style="list-style-type: none"> (a) is proportionate to the size and street frontage of the site (b) actively interfaces with streets and public spaces (c) maintains and enhances the existing streetscape (d) protects adjacent amenity (e) provides setbacks that maintain appropriate levels of light and solar penetration, air circulation, privacy for adjoining properties (f) provides for public space and landscape areas, and (g) reduces building bulk. 	<p>AO8</p> <p>Development is in accordance with the following building types:</p> <ul style="list-style-type: none"> (a) Figure 1—Primary frontage building where located on a primary frontage (b) Figure 2—Secondary frontage building where not located on a primary frontage. <p>Note—Primary frontages are identified on the Building Height and Frontages overlay map. Refer to Diagram 6.2.21.3.2—Primary and rear frontage, for a site located on a primary frontage which also includes a rear frontage.</p>
Land use mix	
<p>PO9</p> <p>Retail and commercial development:</p> <ul style="list-style-type: none"> (a) occurs at a scale which provides for the small scale needs of residents, workers and tourists (b) is compatible with the character of the area (c) does not impact on the viability of the region's centres, and (d) does not include large format, land consumptive commercial uses. 	<p>AO9.1</p> <p>GFA of the following uses does not exceed:</p> <ul style="list-style-type: none"> (a) 1,000m² for Shop or Shopping centre (b) 250m² for: <ul style="list-style-type: none"> (i) Adult store (ii) Bar (iii) Car wash (iv) Club (v) Community care centre (vi) Community use (vii) Educational establishment (viii) Food and drink outlet (ix) Function facility (x) Funeral parlour (xi) Garden centre (xii) Hardware and trade supplies (xiii) Indoor sport and recreation (xiv) Market (xv) Place of worship (xvi) Service industry

Performance outcomes	Acceptable outcomes
	(xvii) Veterinary services.
	AO9.2 If located in the Jeffery Court precinct, GFA of the following uses does not exceed 250m ² for: <ul style="list-style-type: none"> (a) Bar (b) Club (c) Community use (d) Food and drink outlet (e) Function facility (f) Market (g) Shop
For all assessable development	
Land use	
PO10 Development provides a fine grain mix of smaller tenancies along Goondoon and Tank streets and identified primary frontages to support a range of business, community and enterprise opportunities. Note—Primary frontages are identified on the Building height and frontages overlay map.	No acceptable outcome is nominated.
PO11 Where accommodation activities are proposed, residential density: <ul style="list-style-type: none"> (a) is capable of being supported by local infrastructure and services (b) can be achieved without creating conflict between residential and non-residential uses, and (c) supports a concentrated residential population in proximity to local active and public transport networks. 	No acceptable outcome is nominated.
Building design and appearance	
PO12 Buildings are designed to: <ul style="list-style-type: none"> (a) respect and complement the existing character of the area (b) maintain an appropriate human scale which is open and readily accessible from the street (c) minimise the use of highly reflective materials, and (d) respond to climatic conditions. 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>PO13</p> <p>Design elements contribute to an interesting and attractive building through:</p> <ul style="list-style-type: none"> (a) variations in materials and building form to enable articulation of facades and differentiation between buildings (b) modulation in the façade, horizontally or vertically (c) articulation of building entrances and openings (d) corner treatments to address both street frontages, and (e) elements which assist in wayfinding and legibility. 	No acceptable outcome is nominated.
<p>PO14</p> <p>Building caps and rooftops contribute to the architectural distinction of the building, and effectively screen service structures, lift over-runs, plant and equipment.</p>	No acceptable outcome is nominated.
<p>PO15</p> <p>Development is designed to facilitate the safety and security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of personal concealment and entrapment locations, and (f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points. <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
Street interface	
<p>PO16</p> <p>Development is oriented to address all street frontages, public open space and public areas to:</p> <ul style="list-style-type: none"> (a) promote interaction and casual surveillance (b) concentrate and reinforce pedestrian activity (c) avoid opaque facades to provide visual interest to the frontage, and (d) clearly define the public and private realm. 	No acceptable outcome is nominated.

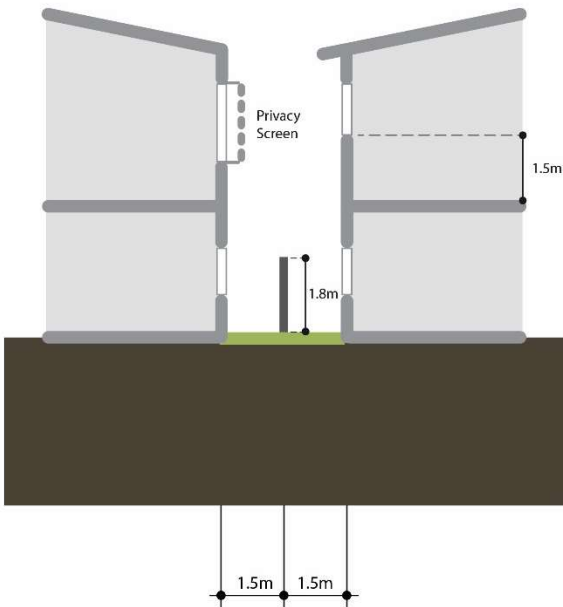
Performance outcomes	Acceptable outcomes
PO17 Buildings and pedestrian entries: <ul style="list-style-type: none"> (a) are visible from the street and car parking areas (b) incorporate sun and rain shelter such as overhangs, and (c) are defined by design elements (such as doors and landscaping, etc). 	No acceptable outcome is nominated.
PO18 Ground floor spaces are designed to enable the flexible reuse of non-residential floor area to support changing community and business needs.	No acceptable outcome is nominated.
PO19 Buildings include windows and openings to: <ul style="list-style-type: none"> (a) promote street life and business activities (b) encourage strong indoor/outdoor relationships at ground level, and (c) to facilitate casual surveillance. 	No acceptable outcome is nominated.
PO20 Development must ensure safe, convenient and legible connections are provided: <ul style="list-style-type: none"> (a) for pedestrians and cyclists to, from and within the site (b) to public transport infrastructure, open space, parkland, public spaces and community-related activities. 	No acceptable outcome is nominated.
PO21 Development must contribute towards high quality streetscape outcomes that integrate effectively with intended street types and along key pedestrian and cycle routes.	No acceptable outcome is nominated.
PO22 Awnings: <ul style="list-style-type: none"> (a) are provided along primary frontages (b) complement and integrate with the front building façade (c) protect street footpaths from rain and sun (d) are continuous and compatible with existing pedestrian shelter and awnings (e) allow for street trees and other landscaping (f) are visually safe and amenable (g) are cantilevered from the main building and do not include posts within the footpath, and (h) are constructed of lightweight materials. 	No acceptable outcome is nominated.

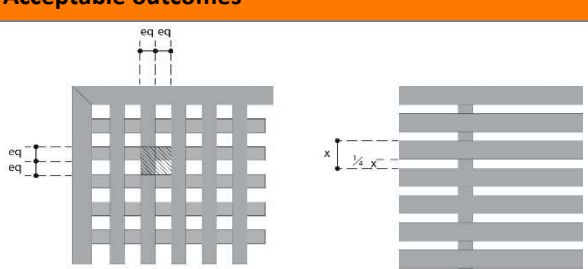
Performance outcomes	Acceptable outcomes
Note—Primary frontages are identified on the Building height and frontages overlay map.	
PO23 Fencing and walls: <ul style="list-style-type: none"> (a) allow casual surveillance of the street (b) provide safe entry areas, and (c) are not visually imposing. 	AO23.1 Fences and walls along street frontages: <ul style="list-style-type: none"> (a) have an open construction with at least 50% visual permeability, or (b) are not greater than 1.2m in height.
	AO23.2 There are no front fences located along primary frontages. Note—Primary frontages are identified on the Building height and frontages overlay map.
Landscape design	
PO24 Landscape elements are integrated in the building design through planting at various levels including on top of podiums, rooftops and within storeys. Note—Applicants are also referred to the Landscaping code.	No acceptable outcome is nominated.
PO25 Landscape treatments include hard and soft elements that: <ul style="list-style-type: none"> (a) are of a character and durability that reflects the mixed use locality (b) enhance the appearance of the development (c) extend from the street edge into building entrances, foyers and onto podiums (d) emphasises a clear pedestrian entry point (e) screen unsightly components (f) provide shading, and (g) reflect and reinforce a subtropical image through integrating landscape, outdoor and indoor spaces. Note—Applicants are also referred to the Landscaping code.	No acceptable outcome is nominated.
Amenity	
PO26 Mixed-use premises must ensure the transmission of noise between residential and non-residential uses is minimised.	No acceptable outcome is nominated.
PO27 Development minimises impacts on surrounding land and provides for an appropriate level of	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>amenity within the mixed use centre, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) hours of operation (c) traffic (d) visual impact (e) signage (f) odour and emissions (g) lighting (h) access to sunlight (i) privacy, and (j) outlook. 	
<p>PO28</p> <p>All uses:</p> <ul style="list-style-type: none"> (a) minimise noise, dust, odour or other nuisance from existing lawful uses, and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity. 	<p>No acceptable outcome is nominated.</p>
Parking areas and access	
<p>PO29</p> <p>Parking areas do not visually dominate the streetscape.</p>	<p>AO29.1</p> <p>Parking areas are:</p> <ul style="list-style-type: none"> (a) located in a basement, or (b) setback a minimum of 15m from any street frontage and screened to allow a building edge for active uses. <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>
	<p>AO29.2</p> <p>Vehicle loading areas:</p> <ul style="list-style-type: none"> (a) are screened from footpaths, streets and public areas by fences with screening at least 1.5m in height and are 50% visually permeable, and (b) are not accessed via a primary frontage unless where there is no other access available to the site. <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>
<p>PO30</p> <p>Crossovers are minimised to:</p> <ul style="list-style-type: none"> (a) reduce conflict with pedestrians, cyclists and public transport, and (b) maintain high quality streetscape environments through footpaths and street trees. 	<p>AO30.1</p> <p>Development is limited to one crossover.</p>
	<p>AO30.2</p> <p>Vehicular access is not located on a primary frontage unless where there is no other access available to the site.</p>

Performance outcomes	Acceptable outcomes
	Note—Primary frontages are identified on the Building height and frontages overlay map.
Storage areas	
PO31 Ancillary storage of goods or materials must be located in a manner that does not detract from the visual amenity of the local area.	AO31 Equipment, materials, goods and/or, machinery used on site are either: <ul style="list-style-type: none"> (a) stored behind the front building setback and screened from view, or (b) stored within a building.
Effects of development	
PO32 Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
PO33 Residential development where located near port facilities, major industries and major infrastructure must mitigate operational effects including: <ul style="list-style-type: none"> (a) using air-conditioning or other energy-efficient ventilation, where necessary, to minimise the effects of odours and emissions, and (b) comprehensive on site landscaping to provide visual relief from the industrial landscape. 	No acceptable outcome is nominated.
Use – Child care centre	
PO34 Development is: <ul style="list-style-type: none"> (a) compatible with neighbouring uses (b) complementary to local character and amenity 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(c) supports the day to day needs of residents</p> <p>(d) located on a site which adequately accommodates activity needs and space requirements.</p>	
<p>PO35</p> <p>Development does not adversely impact on the amenity of area.</p>	<p>AO35</p> <p>Hours of operation are limited to between 6am and 7pm daily.</p>
<p>PO36</p> <p>Where adjoining a residential use, development must ensure residential amenity is maintained on adjoining properties.</p>	<p>AO36</p> <p>Development provides a 1.8m acoustic screen fence where adjoining a residential use.</p>
<p>PO37</p> <p>Development minimises:</p> <p>(a) the hazards of heavy traffic</p> <p>(b) introduction of non-local traffic into minor, residential streets, and</p> <p>(c) on-site conflict between children's activities, pedestrian movement, vehicle movement and car parking.</p>	<p>AO37.1</p> <p>The use is not accessed from:</p> <p>(a) arterial/sub-arterial routes, or</p> <p>(b) an access street or access place.</p> <p>AO37.2</p> <p>Parking spaces are located so that children are not required to cross the driveway or vehicular access way to reach the building.</p>
Uses – Multiple dwelling, Retirement facility, Residential care facility, Rooming accommodation	
<p>PO38</p> <p>Development on a primary frontage does not compromise ground level business activities being established.</p>	<p>AO38</p> <p>Development on a primary frontage is located either above the ground floor level, or to the rear of ground level business activities.</p> <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p>
<p>PO39</p> <p>Development provides a mix of housing sizes to meet housing needs across the community.</p>	<p>AO39</p> <p>Development of 15 or more dwellings includes the following proportion of dwelling sizes:</p> <p>(a) 25% – one bedroom or studio</p> <p>(b) 40% – two bedrooms</p> <p>(c) 15% – three bedrooms or more</p> <p>(d) remaining 20% is unrestricted.</p>
<p>PO40</p> <p>Development must provide sufficient and accessible open space for residents' needs.</p>	<p>AO40.1</p> <p>Open space is provided in accordance with the following building types:</p> <p>(a) Figure 1—Primary frontage building where located on a primary frontage</p> <p>(b) Figure 2—Secondary frontage building where not located on a primary frontage.</p> <p>Note—Primary frontages are identified on the Building height and frontages overlay map.</p> <p>AO40.2</p> <p>Private open space is directly adjacent to the main living area.</p>

Performance outcomes	Acceptable outcomes
PO41 Open space is oriented to provide adequate solar access.	No acceptable outcome is nominated.
PO42 Communal open space is: <ul style="list-style-type: none"> (a) designed to provide useable areas for communal activities such as clothes drying and social interaction (b) open to the sky, and (c) is not dominated by landscaping. 	No acceptable outcome is nominated.
PO43 Habitable spaces must not directly overlook dwellings on adjacent land.	A043 Habitable room windows of a dwelling unit are separated a minimum of 9m from a habitable room window or private open space of another dwelling unit unless: <ul style="list-style-type: none"> (a) windows have translucent glazing or sill heights of at least 1.5m, or (b) there is a 1.8m high dividing fence at ground level (c) outlook from windows, balconies, and terraces of a dwelling unit is screened where screening is (d) a permanent screen, perforated panels or trellises which have a maximum of 50% openings, and (e) permanent and fixed, and designed to complement the development. <p>Note—Refer below to Diagram 1—Privacy.</p> 

Performance outcomes	Acceptable outcomes
	 <p>Lattice</p> <p>Batterns</p>
If in the Jeffery Court precinct	
<p>PO44</p> <p>Development with frontage to the foreshore must be generally consistent with Diagram 6.2.21.3.1—Jeffery Court precinct plan through including the following elements:</p> <ul style="list-style-type: none"> (a) public access and view lines from Jeffery Court to Main Beach (b) pedestrian linkages with Tom Jeffery Memorial Park, and (c) buildings and structures are sufficiently setback from the foreshore through the provision of public open space. 	No acceptable outcome is nominated.

6.2.21.3.2 Diagram 6.2.21.3.1—Jeffery Court precinct plan

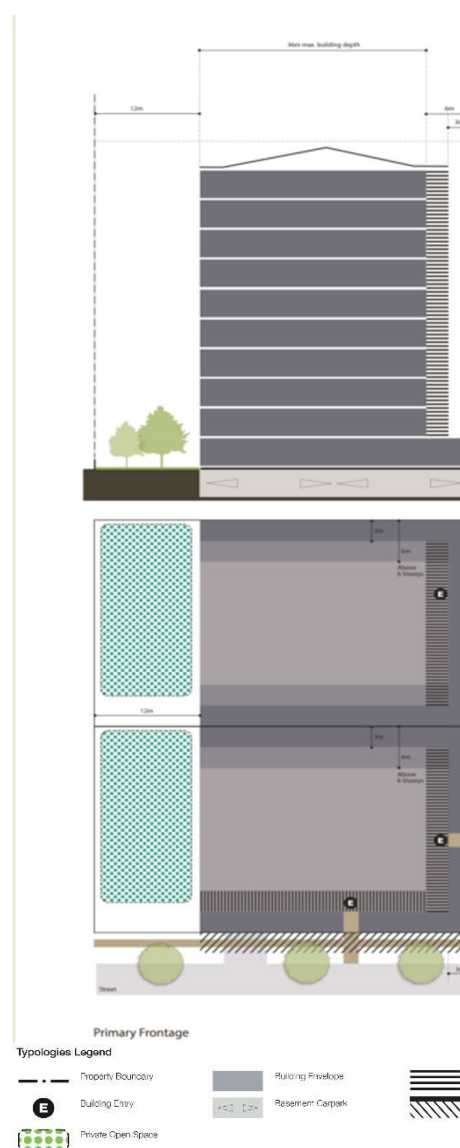


6.2.21.3.3 Figure 1—Primary frontage building

This building type can accommodate a diversity of land uses at higher intensities while still maintaining human scale at street level. Buildings are built to their front alignment allowing a range of finer grain uses such as shops and cafes to define main streets such as Goondoon Street and public spaces. A single storey podium defines the base of the buildings.



Element		Acceptable solutions
1.1	Minimum frontage	30m
1.2	Minimum area	1,500m ²
1.3	Maximum building depth from the main street frontage	36m to OMP including podium.
1.4	Residential open space	<p>Minimum private open space of 16m² per dwelling with a minimum dimension of 3m in any direction.</p> <p>Minimum communal open space of 20% of the site area with a minimum dimension of 5m in any direction.</p>
1.5	Minimum setbacks (in all directions)	0m where abutting an existing podium or non-residential building.
		3m where adjoining a residential zone.
	Front ⁶	6m to main face of building (3m OMP in articulation zone ⁷).
	Rear ⁸	12m to OMP.
	Side	Levels 2–6: 3m to OMP Levels 7+: 6m to OMP (9m where balconies overlook side boundary in any circumstance).



⁶ Setback above podium level.

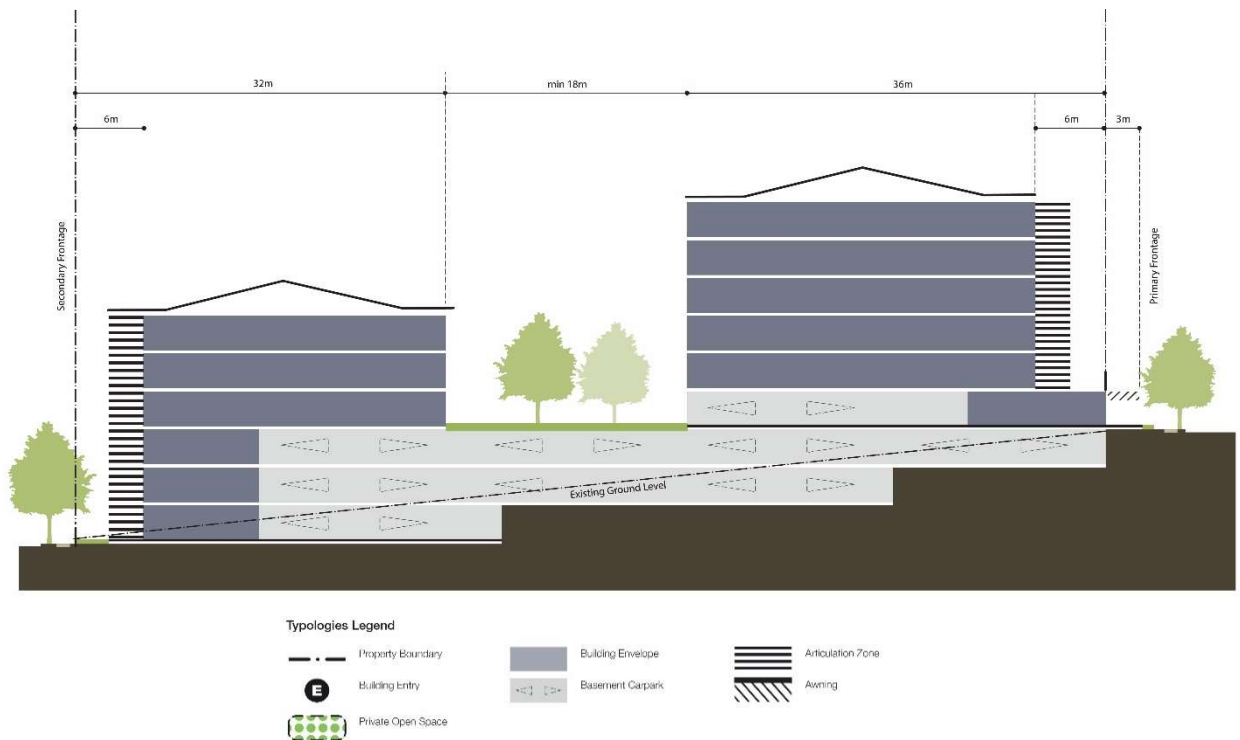
⁷ Area from the main face of the building to the outermost projection where elements such as sun shading, balconies, roofs, eaves and overhangs project to assist in articulating the façade.

⁸ The rear boundary is opposite the primary frontage of the site.

6.2.21.3.4 Diagram 6.2.21.3.2—Primary and rear frontage

Where a site located on a primary frontage has front and rear street frontages, the building treatment will be in accordance with the intent of this diagram as follows:

- (1) The podium extends across the entire depth of the site.
- (2) Car parking areas within the podium or basement are not permitted to extend to any street frontage and must be sleeved by the requisite frontage treatment for at least the full height of the podium or two storeys whichever is the greater.

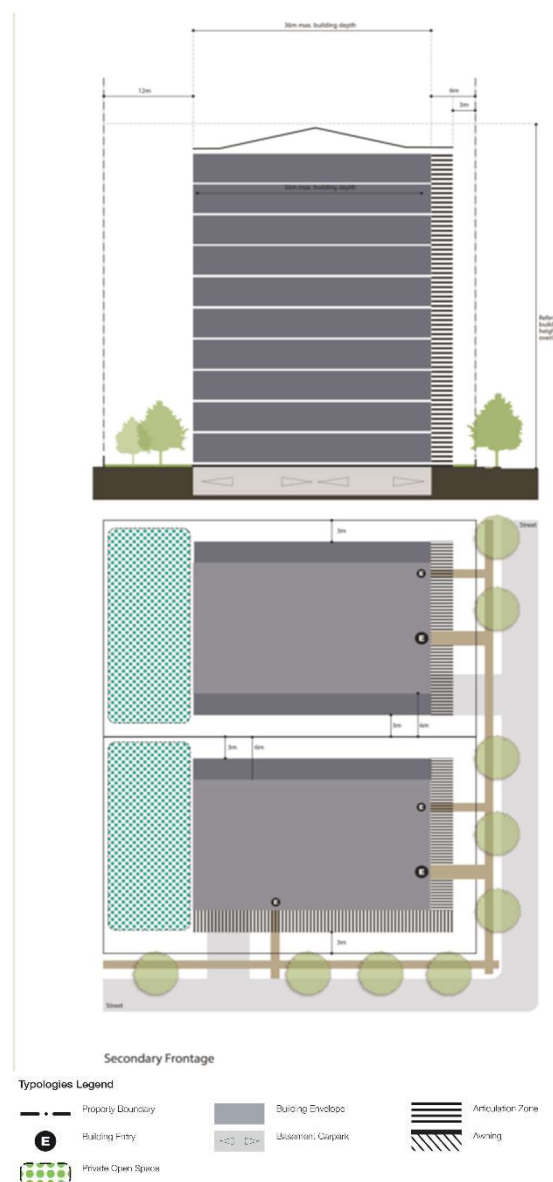


6.2.21.3.5 Figure 2—Secondary frontage building

This building type occurs generally on those streets in centres and mixed use areas where buildings are not required to provide active uses at ground level. These buildings may be single use commercial or residential buildings or vertically mixed use.



Element		Acceptable solutions
2.1	Minimum frontage	30m
2.2	Minimum area	1,500m ²
2.3	Maximum building depth from the main street frontage	36m to OMP
2.4	Residential open space	Minimum private open space of 16m ² per dwelling with a minimum dimension of 3m in any direction.
		Minimum communal open space of 20% of the site area with a minimum dimension of 5m in any direction.
2.5	Minimum setbacks	Front 6m to main face of building (3m OMP in articulation zone ⁹).
		Rear 12m to OMP.
		Side Levels 1–6: 3m to OMP Levels 7+: 6m to OMP (9m where balconies overlook side boundary in any circumstance).



⁹ Area from the main face of the building to the outermost projection where elements such as sun shading, balconies, roofs, eaves and overhangs project to assist in articulating the façade.

6.2.22 Rural

6.2.22.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.22.2 Purpose

1. The purpose of the rural zone code is to:
 - (a) Ensure appropriately sized lots, being predominantly very large lots, display rural and landscape character and provide for a wide range of rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, grazing, animal keeping and other primary production activities.
 - (b) Provide opportunities for non-rural uses that are compatible with agricultural and rural activities, and the landscape character of the rural area where they do not compromise the long-term use of the land for rural purposes.
 - (c) Protect or manage significant natural features, resources, and processes, including the capacity for primary production and extractive industry in designated areas.
 - (d) Ensure rural uses are not adversely impacted by inappropriate land uses and development.
 - (e) Ensure areas of Agricultural Land Classification Class A and B agricultural land are protected for agricultural uses and from fragmentation, alienation or diminished agricultural productivity.
 - (f) The potential for conflict between agricultural and other uses on Agricultural Land Classification Class A and B are minimised .
 - (g) Classification Class A and B agricultural land from further fragmentation.
2. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Areas for use for primary production are conserved and fragmentation is avoided through maintaining appropriate lot sizes, being predominantly large lots to support sustainable rural agricultural activities.
 - (b) The viability of both existing and future rural uses and activities are protected from the intrusion of incompatible uses.
 - (c) The establishment of a wide range of rural pursuits is facilitated, including cropping, intensive horticulture, grazing, intensive animal industries, animal husbandry and animal keeping and other compatible primary production uses.
 - (d) Cropping activities are encouraged on Agricultural Land Classification Class A and B agricultural land.
 - (e) Development does not result in the fragmentation of Agricultural Land Classification Class A and B agricultural land. This applies to reconfiguring a lot except where it has been assessed that there is an overriding need in the public interest for a related material change of use and the reconfiguring of a lot is consistent with the material change of use.
 - (f) Development located adjacent to Agricultural Land Classification Class A and B agricultural land incorporates an adequate separation area to prevent any impact from the agricultural use on the amenity or use on the occupants of the development.
 - (g) Extractive industries:
 - (i) mitigate impacts on the environment and adjoining land uses
 - (ii) do not occur on Class A and B agricultural land, and
 - (iii) rehabilitate sites upon completion of resource extraction.

Note—Refer also to the Extractive industry code in Part 9.

- (h) The establishment of outdoor recreation and small-scale tourism facilities in suitable locations is facilitated only where they do not compromise the use of the land for rural activities and minimise any land-use conflicts.
- (i) Natural features such as creeks, gullies, waterways, wetlands and bushland are retained, managed and separated from adjacent development where possible.
- (j) Rural land uses incorporate sustainable practices to prevent soil erosion, protect the quality of land resources and water catchments, and maintain habitat values of waterways and native timber and forest areas.
- (k) Non-resident workforce accommodation:
 - (i) is only located in this zone where it is demonstrated it cannot be located in an urban area
 - (ii) does not adversely impact on surrounding rural character or activities
 - (iii) does not create a demand for urban services and infrastructure that cannot be provided on-site by that development
 - (iv) is temporary to service the short term needs of resource or infrastructure development projects, and
 - (v) does not sterilise the land for future rural activities.
- (l) Urban and rural residential expansion does not occur on land in the rural zone.

6.2.22.3 Assessment benchmarks

Table 6.2.22.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development is ancillary to the primary use.	AO1 No more than 1 caretaker’s accommodation unit is established on the site.
Use – Roadside stall	
PO2 Roadside stalls are of a scale in keeping with the rural character of the locality and capable of operating safely with the road system.	AO2.1 Structures associated with the use are limited to 30m ² GFA.
	AO2.2 A roadside stall is setback a minimum of: (a) 0m from the front boundary and 5m from the side boundaries for allotments less than 2ha; and (b) 10m for allotments greater than 2ha.
Built form (if involving building work)	
PO3 Buildings are designed and located so as not to adversely impact on the rural character and amenity of the locality.	AO3.1 Building height for a dwelling house does not exceed 8.5m. Building height for Rural activities does not exceed 20m.
	AO3.3 Buildings, other than a roadside stall, are setback a minimum of:

Performance outcomes	Acceptable outcomes							
	<ul style="list-style-type: none"> (a) 10m from the front and side boundaries for allotments greater than 2ha, or (b) 5m from the front and side boundaries for allotments less than 2ha. 							
Residential density								
PO4 Residential density reflects the low intensity rural character of the locality.	AO4.1 Residential density is limited to: <ul style="list-style-type: none"> (a) one dwelling house per allotment including a secondary dwelling, and (b) one dwelling where for rural workers accommodation. 							
	AO4.2 Where a dwelling house, any secondary dwelling is: <ul style="list-style-type: none"> (a) a maximum of 80m² GFA (b) located within 50m of the main building (c) linked to the main building by a defined footpath in the most direct route possible. 							
Amenity								
PO5 Accommodation and community activities do not encroach on existing or approved rural and extractive industry operations or uses that may result in an adverse impact on amenity, health or safety.	AO5 Sensitive land uses are separated from: <ul style="list-style-type: none"> (a) intensive animal industry uses by a minimum of 2km (b) animal keeping (if only catteries and kennels) by a minimum of 1km (c) waste disposal areas connected to an animal husbandry operation by a minimum of 500m (d) cropping on areas of agricultural land by a minimum of 300m (e) other agricultural activities (excluding cropping activities) by a minimum of 50m (f) other rural activities, not elsewhere mentioned, by a minimum of 100m (g) railway activities by a minimum of 100m (h) the Benaraby Motorsport Facility by a minimum of 1,000m (i) extractive industry operations as follows: 							
	<table> <tr> <th>Operation</th><th>Separation distance</th></tr> <tr> <td>Extraction or processing involving blasting or crushing</td><td>1000m</td></tr> <tr> <td>Extraction or processing not involving blasting or crushing.</td><td>200m</td></tr> <tr> <td>Transport route</td><td>100m</td></tr> </table>	Operation	Separation distance	Extraction or processing involving blasting or crushing	1000m	Extraction or processing not involving blasting or crushing.	200m	Transport route
Operation	Separation distance							
Extraction or processing involving blasting or crushing	1000m							
Extraction or processing not involving blasting or crushing.	200m							
Transport route	100m							

Performance outcomes	Acceptable outcomes
PO6 Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	AO6.1 Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> or current version.
	AO6.2 Outdoor lighting is provided in accordance with <i>Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic Category V) Lighting – Performance and Installation Design Requirements</i> or current version.
PO7 Development does not adversely impact on the amenity of the surrounding rural or residential land uses or rural landscape character.	AO7 Plant and air-conditioning equipment, storage areas and processing activities are screened from view of the road or adjoining residential uses.
Stock routes	
PO8 Development on or adjoining a stock route shown on overlay map Agricultural Land Classification Overlay does not compromise the use of the stock route by travelling stock.	AO8 Accommodation activities (excluding dwelling house on an existing allotment, Caretaker's accommodation and Rural workers' accommodation) and community activities are separated from a stock route by a minimum of 200m.
PO9 Development on or crossing a stock route does not impede the free movement of stock.	AO9 Development provides: <ul style="list-style-type: none"> (a) for grade separation of transport infrastructure and stock, or (b) alternate unimpeded and watered stock route access.
For all assessable development	
Land use	
PO10 Development: <ul style="list-style-type: none"> (a) is consistent with the rural character of the locality (b) supports the primary rural function of the zone; and (c) protects rural, natural and scenic values of the locality. 	No acceptable outcome is nominated.
PO11 Tourism (including associated accommodation) and recreation-related uses are: <ul style="list-style-type: none"> (a) small scale, and (b) compatible with rural production, natural resources and landscape amenity. 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Design and amenity	
PO12 Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.	AO12.1 Development achieves the air quality design objectives set out in the Environmental Protection (Air) Policy 2008 , as amended.
	AO12.2 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by: <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins, or (b) a watering program so material cannot become airborne.
PO13 Development prevents or minimises the generation of noise so that: <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land uses, and (b) desired ambient noise levels in residential areas are not exceeded. 	AO13 Development achieves the noise generation levels set out in the Environmental Protection (Noise) Policy 2008 , as amended.
PO14 Development does not unduly impact on the existing amenity and character of the locality having regard to: <ul style="list-style-type: none"> (a) the scale, siting and design of buildings and structures (b) visibility from roads and other public view points, screening vegetation and landscaping (c) the natural landform and avoidance of visual scarring, and (d) vibration, odour, dust, spray drift and other emissions. 	No acceptable outcome is nominated.
PO15 All uses: <ul style="list-style-type: none"> (a) minimise noise, dust, odour or other nuisance from existing lawful uses including rural and industrial uses (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of the land. 	No acceptable outcome is nominated.
PO16 Development ensures ecological values, habitat corridors and soil and water quality are protected, having regard to:	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes					
(a) maximising the retention of vegetation and the protection of vegetation from the impacts of development (b) minimising the potential for erosion and minimisation of earthworks (c) maximising the retention and protection of natural drainage lines and hydrological regimes, and (d) avoidance of leeching by nutrients, pesticides or other contaminants, or potential for salinity.						
Use – Animal keeping (kennels or catteries)						
PO17 Development is sited, constructed and managed such that: (a) animals are securely housed, and (b) the use does not create an unreasonable nuisance beyond the site boundaries.	AO17.1 A minimum site area of 3 hectares is required.					
	AO17.2 Buildings used for animal keeping are constructed with impervious reinforced concrete floors, gravity drained to the effluent collection/treatment point.					
	AO17.3 Animal proof fencing or other appropriate barrier features are provided to a minimum height of 1.8m within the site to prevent the escape of animals.					
	AO17.4 Kennels or catteries are a minimum of 1km from an existing sensitive land use.					
	AO17.5 Animals are kept in fenced enclosures, inside buildings at all times between the hours of 6pm and 7am					
	AO17.6 A person who is responsible for the supervision of the operation of the development is accommodated on the premises at all times.					
	AO17.7 Animal enclosures are set back to roads, streets and water resources as follows: <table border="1"> <tr> <td>Road frontages</td><td>50m</td></tr> <tr> <td>Top bank of creek, river, stream, wetland, edge of well, bore, dam, weir, intake or the like which provides potable water supply to the site or surrounds</td><td>100m</td></tr> <tr> <td>Top bank of dry or perennial gully</td><td>30m</td></tr> </table>	Road frontages	50m	Top bank of creek, river, stream, wetland, edge of well, bore, dam, weir, intake or the like which provides potable water supply to the site or surrounds	100m	Top bank of dry or perennial gully
Road frontages	50m					
Top bank of creek, river, stream, wetland, edge of well, bore, dam, weir, intake or the like which provides potable water supply to the site or surrounds	100m					
Top bank of dry or perennial gully	30m					

Performance outcomes	Acceptable outcomes
Uses – Bulk landscaping supplies, Rural industry, Wholesale nursery and Garden centre	
PO18 Development is located and designed on sites of sufficient size, to minimise adverse impacts on: <ul style="list-style-type: none"> (a) the amenity of the setting, in particular noise, odour and dust emissions (b) the amenity of neighbours, and (c) operating within the safe and effective design capacity of the region's road system. 	AO18.1 A minimum site area of 2 hectares is required.
	AO18.2 A minimum 15m setback is required from any adjoining property boundary.
	AO18.3 Sales, storage, handling, packaging and production areas are setback a minimum of: <ul style="list-style-type: none"> (a) 100m from any accommodation activity (50m for Garden centre) (b) 50m from state-controlled roads and 20m from all other roads (c) 20m from any residential dwelling on the same or neighbouring site (10m for Garden centre) (d) 30m from top bank of creek, river, stream or wetland edge of well, bore, dam, weir, or intake that provides potable water.
	AO18.4 Infrastructure and material storage areas are confined to free draining areas and sites on slopes not exceeding 10%.
	AO18.5 There is direct access from the property boundary to a road.
	AO18.6 Hours of operation are limited to between 7am and 5pm.
Use – Club or community use	
PO19 Development is located and designed on sites of sufficient size, to minimise adverse impacts on: <ul style="list-style-type: none"> (a) the amenity of the setting, in particular noise, odour and dust emissions (b) the amenity of neighbours, and (c) operating within the safe and effective design capacity of the region's road system. 	AO19.1 A minimum site area of 2 hectares is required.
	AO19.2 Siting and layout includes: <ul style="list-style-type: none"> (a) the total area of covered buildings and roof structures is no greater than 10% of site area, and (b) no building or structure is closer than 15m to any site boundary.
	AO19.3 Buildings and structures associated with the use are limited to: <ul style="list-style-type: none"> (a) shelters (b) toilets (c) kiosks (d) hall/function area.

Performance outcomes	Acceptable outcomes										
	AO19.4 Hours of operation are limited to between 7am and 10pm.										
Use – Non-resident workforce accommodation											
PO20 Development: (a) is of a scale and intensity that minimises impact on rural character, environmental quality and amenity with regard to: <ul style="list-style-type: none"> (i) visual and built form impacts (ii) traffic generation (iii) light and noise impacts (iv) minimising earthworks and alterations to the land. (b) provides infrastructure necessary for adequate water supply, effluent disposal and other services and facilities to support on site residents (c) manages social impacts associated with the development, including the demand for social and emergency services. Note—Refer to the <i>Non-resident workers accommodation planning scheme policy</i> for further guidance in achieving this performance outcome.	No acceptable outcome is nominated.										
Use – Nature based tourism											
PO21 Development protects environmental values and is of a scale and intensity that does not compromise the low density and environmental character of the locality.	AO21 Development does not exceed more than: <table border="1"> <thead> <tr> <th>Site area (ha)</th><th>Maximum number of guests</th></tr> </thead> <tbody> <tr> <td>0-20</td><td>10</td></tr> <tr> <td>21-40</td><td>20</td></tr> <tr> <td>41-60</td><td>30</td></tr> <tr> <td>More than 60</td><td>40</td></tr> </tbody> </table>	Site area (ha)	Maximum number of guests	0-20	10	21-40	20	41-60	30	More than 60	40
Site area (ha)	Maximum number of guests										
0-20	10										
21-40	20										
41-60	30										
More than 60	40										

6.2.23 Rural residential

6.2.23.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.23.2 Purpose

- (1) The purpose of the rural residential zone code is to provide for:
 - (a) Limited housing and lifestyle choices generally on the fringe of existing urban areas.
 - (b) Development of large lots for residential development at a very low density.
 - (c) A limited level of servicing that is less than that provided in urban areas.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Development of large residential lots with limited provision of infrastructure and services is facilitated.
 - (b) Lot sizes are responsive to the localities prevailing lot size, topography, scenic amenity, bushfire risk, flooding and the existing level of water infrastructure. Areas without reticulated water are larger than serviced areas in order to facilitate on site servicing and firefighting arrangements.
 - (c) Development provides a high level of residential amenity appropriate to the character of the particular rural residential zone.
 - (d) Natural features such as creeks, gullies, waterways, wetlands and vegetation and bushland are retained, enhanced and buffered from the impacts of development. Any unavoidable impacts are minimised through location, design operation and management requirements.
 - (e) Non-residential uses may be appropriate where such uses provide for the day-to-day needs of the area or have a direct relationship to the land.
 - (f) Development responds to land constraints, including but not limited to topography, bushfire and flooding.
- (3) The purpose of the zone will also be achieved through the following additional overall outcomes for particular precincts:
 - (a) Bicentennial Drive enterprise precinct:
 - (i) Supports a range of low impact business activities (not including shop, shopping centre or showroom), tourism uses and creative enterprises that operate on larger land parcels.
 - (ii) Land use activities do not adversely affect the viability of the Agnes Water town centre.
 - (iii) Development is able to function appropriately without reticulated water and sewerage infrastructure.
 - (b) Beecher/Burua constant flow precinct:
 - (i) Development where creating new rural residential lots only occurs where suitable water pressure exists to cater for the proposed density and lots reflect the existing character of the area.
 - (ii) Where it is determined that water pressure is at capacity, development creating new or infill lots is not supported for the life of the Planning scheme.

6.2.23.3 Assessment benchmarks

Table 6.2.23.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development is ancillary to the primary use.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker's accommodation is a maximum of 100m ² GFA.
Use – Roadside stall	
PO2 Roadside stalls are of a scale in keeping with the rural residential character of the area.	AO2.1 Structures associated with the use are limited to 30m ² GFA.
	AO2.2 Structures associated with the use are setback: <ul style="list-style-type: none"> (a) 0m from the front boundary and 3m from the side boundary for allotments greater than 2ha, or (b) 5m from the front boundary and 3m from the side boundary for allotments less than 2ha.
Use – Sales office	
PO3 The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO3.1 Development of the sales office is in place for no more than two years.
	AO3.2 The site coverage of the building is a maximum of 40% of the site area.
	AO3.3 There are a maximum of 2 employees on site at any one time.
	AO3.4 The use operates between 9am and 10pm Monday to Saturday and 9am and 1pm on Sunday.
Built form (if involving building work)	
PO4 Buildings are designed and located so as not to adversely impact on the rural residential character of the area.	AO4 Building height does not exceed 8.5m.

Performance outcomes	Acceptable outcomes
PO5 Buildings and other structures are located on the site to: <ul style="list-style-type: none"> (a) protect the amenity of residents and neighbours, and (b) not impact on existing rural industries on neighbouring rural zoned land. 	A05 Buildings, other than a roadside stall, are setback a minimum of: <ul style="list-style-type: none"> (a) 6m from the front boundary and 3m from the side boundaries for allotments greater than 2ha, or (b) 5m front boundary and 3m side boundaries for allotments less than 2ha.
Residential density	
PO6 Residential density reflects the very low intensity character of the locality.	A06.1 Residential density is limited to one dwelling house per allotment including a secondary dwelling.
	A06.2 Where a dwelling house, any secondary dwelling is: <ul style="list-style-type: none"> (a) a maximum of 80m² GFA (b) located within 50m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.
For all assessable development	
Land use	
PO7 Non-residential uses and are limited to those which: <ul style="list-style-type: none"> (a) are subordinate to the primary residential use (where not in the Bicentennial Drive Enterprise precinct) and support the day to day needs of residents. (b) do not impact on residential amenity (c) are compatible with neighbouring rural uses (d) are complementary to local character and amenity; and (e) are home businesses, small scale tourist uses, low impact creative enterprises or small scale horticulture. 	No acceptable outcome is nominated.
Community use	
PO8 Development is located and designed on sites of sufficient size to minimise adverse impacts on: <ul style="list-style-type: none"> (a) the amenity of the setting, in particular noise, odour and dust emissions (b) the amenity of neighbours, and (c) the safe and effective design capacity of the region's road system. 	A08.1 A minimum site area for a community use is 2ha.
	A08.2 Siting and layout of the community use includes: <ul style="list-style-type: none"> (a) a total area of covered buildings and roof structures that is no greater than 10% of the site area, and (b) no building or structure closer than 15m to any site boundary.

Performance outcomes	Acceptable outcomes
	<p>AO8.3</p> <p>Buildings and structures associated with a community use only include:</p> <ul style="list-style-type: none"> (a) shelters (b) toilets (c) stands and/or grandstands (d) kiosks (e) hall/function area, or (f) lighting.
	<p>AO8.4</p> <p>Hours of operation are limited to between 7am and 10pm daily.</p>
<p>PO9</p> <p>Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to:</p> <ul style="list-style-type: none"> (a) traffic and parking (b) visual impact (c) signage (d) access to sunlight (e) privacy. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>
Effects of development	
<p>PO10</p> <p>Development responds sensitively to on-site and surrounding topography, drainage patterns, foreshore areas, utility services, access, vegetation and adjoining land uses, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
PO11 All uses: (a) minimise noise, dust, odour or other nuisance from existing lawful uses including rural and industrial uses (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of land in the rural residential zone.	No acceptable outcome is nominated.
Use – Nature based tourism	
PO12 Development protects environmental values and is of a scale and intensity that does not compromise the low density and environmental character of the locality.	AO12 Development does not exceed more than one guest per 1,000m ² of site area.
Where in the Bicentennial Drive Enterprise precinct	
PO13 Non-residential uses: (a) are limited in scale and consistent with local character (b) do not adversely impact on adjoining residential uses and amenity.	AO13.1 Minimum site area is 1.5ha.
	AO13.2 The total area of premises covered by buildings and roof structures is no greater than 40% of the site area.
	AO13.3 No building, structure or activity area is closer than 10m to any site boundary.
	AO13.4 Hours of operation are limited to between 7am and 6pm daily.
PO14 Non-residential uses do not: (a) adversely affect the viability of the Agnes Water town centre, and (b) include large format, land consumptive commercial uses.	AO14.1 GFA of the following uses does not exceed 250m ² for: (a) agricultural supplies store (b) bulk landscape supplies (c) garden centre (d) hardware and trade supplies (e) service industry, and (f) warehouse.
	AO13.2 Any outdoor sales use does not exceed a development footprint of 500m ² .

Performance outcomes	Acceptable outcomes
PO15 Where a Tourist park, development provides adequate separation, screening and buffering from any adjoining residential premises or residential zone so that residential privacy and amenity is not adversely affected.	AO15.1 Where a Tourist park and adjoining a residential use: (a) a minimum side and rear boundary setback of 3m is required for any: (i) ancillary kiosk or food and drink outlet premises (ii) site access points, and (iii) car parking areas. (b) a minimum boundary setback of 10m is required for any: (i) amenity buildings (ii) servicing or outdoor storage areas (iii) temporary structures including caravans and tents, and (iv) active outdoor use areas.
	AO15.2 Where a Tourist park, any plant and air-conditioning equipment is screened from view of the road or adjoining residential activity.
Where in the Beecher/Burua constant flow precinct	
PO16 Reconfigurations attain an overall lot yield commensurate with the capacity of the water infrastructure network.	AO16 Development complies with the <i>Beecher/Burua constant flow precinct planning scheme policy</i> .

6.2.24 Special purpose

6.2.24.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.24.2 Purpose

- (1) The purpose of the Special purpose zone is to provide for public uses that are owned or operated by a government, semi-government, statutory authority, government owned corporation, local government or private organisations in the course of a public utility undertaking such as:
 - (a) Sewage treatment plants, pump stations and other related network elements.
 - (b) Water supply facilities, water treatment plants, water reservoirs and other related network elements.
 - (c) High voltage electricity transmission corridors, substations, gas and other related network elements.
 - (d) Telecommunication exchanges and certain telecommunication transmission facilities.
 - (e) Refuse management facilities,
 - (f) Transport infrastructure network elements such as railway corridors and terminals and the Gladstone Airport, and
 - (g) A defence establishment.

- (2) Development is buffered from encroachment by incompatible uses.
- (3) The zone also acknowledges special development areas regulated by planning instruments other than the planning scheme including the Gladstone State Development Area, “Strategic Port Land” at the Port of Gladstone and Port Alma and the “Priority Development Areas” at Clinton, Toolooa and Tannum Sands.

Note—Material change of use applications in the Gladstone State Development Area are administered by the Coordinator—General through the Development Scheme for the Gladstone State Development Area. In this area, only development applications for reconfiguring a lot and operational works or building and plumbing applications will be assessed by Gladstone Regional Council.

Within Strategic Port Land, the Gladstone Ports Corporation is the assessment manager for development unless the land is located within the Gladstone State Development Area wherein the Coordinator—General through the Development Scheme for the Gladstone State Development Area is the assessment manager.

For each Priority Development Area, development is managed within a Development Scheme approved by the Minister for Economic Development Queensland.

Defence land (Gladstone Training Depot) is regulated under the [Commonwealth Defence Act 1903](#) and is not subject to the planning scheme.

- (4) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Special uses and works that are owned or operated by federal, state or local government and government entities are accommodated within this zone. These activities include, airports, sea ports, rail lines, rail stations, the provision of water supply, sewerage, electricity, gas, telecommunications, transport, drainage and other like services.
 - (b) Development is located appropriate to the type of special purpose proposed and is generally consistent in scale, height and bulk with that of the surrounding development.
 - (c) The viability of special purpose uses are protected by excluding development that could limit the ongoing operation of existing special purpose uses or prejudice appropriate new activities.
 - (d) Development will be provided with a level of development infrastructure that is appropriate to the use.
 - (e) Development responds to land constraints, including but not limited to topography, bushfire and flooding.
 - (f) Adverse impacts on natural features and processes, both on-site and from adjoining areas, are minimised through location, design, operation and management of development.
 - (g) Development avoids significant adverse effects on water quality and the natural environment.
- (5) The purpose of the zone will also be achieved through the following additional overall outcomes for particular precincts:
 - (a) Special development:
 - (i) development is regulated in accordance with planning instruments identified in Part 10 of this planning scheme.
 - (b) Gladstone Airport:
 - (i) development provides only for air services within the airport operations area
 - (ii) development ensures the efficient and safe operation of the Gladstone regional airport.

6.2.24.3 Assessment benchmarks

Table 6.2.24.3.1—Assessable development

Performance outcomes	Acceptable outcomes
Built form	
PO1 Buildings and outdoor storage areas: (a) are appropriate to the scale, bulk and character of other buildings and activities in the surrounding industrial area or intended in the zone, and (b) do not result in a significant loss of visual amenity.	No acceptable outcome is nominated.
PO2 Buildings, structures and high impact industry and specialised industrial activities are setback from the road frontage to mitigate the impact of activities on the streetscape.	AO2 Buildings, structures and industrial activity areas are setback: (a) 10m for land on a sub-arterial or arterial road, and (b) 6m for land on a road other than a sub-arterial or arterial road.
Land use	
PO3 Development: (a) does not compromise the use of land for special purposes including public utilities and infrastructure, and (b) requires larger sites in locations that are well separated from sensitive land uses.	No acceptable outcome is nominated.
PO4 Where in the Gladstone Airport precinct, development: (a) is only associated with air services activities, and (b) ensures the safe operation of air services activities. Note—Refer also to the Airport overlay code.	No acceptable outcome is nominated.
Building design	
PO5 Buildings include features that contribute to an attractive streetscape.	AO5.1 The unarticulated length of external walls along a road frontage does not exceed 15m.
	AO5.2 Buildings: (a) are designed and constructed with varying façade treatments and high quality finishes such as brick, painted concrete or masonry, and (b) do not incorporate highly reflective materials.

Performance outcomes	Acceptable outcomes
PO6 Building entrances are legible and safe.	AO6.1 The main entry to the premises is: (a) easily identifiable and directly accessible from the street with a clearly defined entrance point, and (b) separate to vehicle access points.
	AO6.2 Each building is provided with a highly visible street number.
	AO6.3 Premises are provided with external lighting sufficient to provide safe ingress and egress for site users.
	AO6.4 Office space is sited and orientated towards the principal road frontage of a site.
PO7 Development is designed to facilitate the safety and security of people and property having regard to: (a) maximising casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of personal concealment and entrapment locations, and (f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points. Note—applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland .	No acceptable outcome is nominated.
Amenity	
PO8 Utility elements (including refuse areas, outdoor storage, plant and equipment, loading and unloading areas) are screened from view from the street and land within other zones.	AO8 Utility elements are: (a) located within or behind the building, or (b) screened by a 1.8m high solid wall or fence, or (c) behind landscaping having the same screening effect as a 1.8m screen fence. Note—Screening can be provided by any combination of the above treatments to meet the acceptable outcome.
PO9 Landscaping is provided to mitigate the visual impact of development and screen unsightly components. Note—refer also to the Landscaping code.	AO9 Landscaping is provided along the entire principal site frontage, excluding driveway, with a minimum width of: (a) 4m along an arterial road, and (b) 2m along any other road.

Performance outcomes	Acceptable outcomes
PO10 Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	AO10.1 Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> .
	AO10.2 Outdoor lighting is provided in accordance with <i>Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic Category V) Lighting – Performance and Installation Design Requirements</i> .
Effects of development	
PO11 Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
PO12 Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.	AO12.1 Development achieves the air quality design objectives set out in the Environmental Protection (Air) Policy 2008 , as amended.
	AO12.2 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by: <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins, or (b) a watering program so material cannot become airborne.
PO13 Development prevents or minimises the generation of any noise so that: <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land uses, and (b) desired ambient noise levels in residential areas are not exceeded. 	AO13 Development achieves the noise generation levels set out in the Environmental Protection (Noise) Policy 2008 , as amended.

Performance outcomes	Acceptable outcomes
PO14 Development provides for the collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur.	AO14.1 Areas where potentially contaminating substances are stored or used, are: <ul style="list-style-type: none"> (a) roofed and sealed with concrete, asphalt or similar impervious substance and bunded, and (b) located in an area free of flooding from a 1% AEP flood event, and free from medium or high storm tide inundation.
	AO14.2 Provision is made for spills to be bunded and retained on site for removal and disposal by an approved means.
	AO14.3 Roof water is piped away from areas of potential contamination.
PO15 Development is located, designed and operated so that adverse environmental impacts and environmental harm on nearby land is minimised.	No acceptable outcome is nominated.
Use – Caretaker’s accommodation	
PO16 Development for caretaker’s accommodation: <ul style="list-style-type: none"> (a) is subordinate to non-residential uses on the same site, and (b) provides adequate private open space for residents. 	AO16.1 No more than 1 caretaker’s accommodation unit is established per non-residential land use.
	AO16.2 Caretaker’s accommodation is a maximum of 100m ² in GFA.
	AO16.3 Caretaker’s accommodation is provided with a private open space area which: <ul style="list-style-type: none"> (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m² with minimum horizontal dimensions of 1.25m.
AO17 Development for caretaker’s accommodation provides a safe living environment for residents through: <ul style="list-style-type: none"> (a) adequate separation from the source of any emissions generated by the primary use of the site, and (b) design and construction features which mitigate noise, lighting and air quality impacts on habitable rooms. 	No acceptable outcome is nominated.

6.2.25 Specialised centre

6.2.25.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.25.2 Purpose

1. The purpose of the specialised centre zone code is to:
 - (a) Provide for designated areas for the retailing of bulky goods and other related commercial uses that cannot be accommodated in other centres such as mixed use centres and shopping centres.
 - (b) Promote high quality centre and building design for large format retail buildings, showrooms and outdoor sales activities.
2. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) Development is readily and safely accessible from major roads.
 - (b) Development provides a high level of amenity and is reflective of the surrounding character of the area.
 - (c) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and transport use.
 - (d) Development responds to land constraints, including but not limited to flooding and minimising changes to natural topography.
 - (e) Development encourages public transport accessibility and use, walking and cycling.
 - (f) Development does not compromise the viability of the network of centres throughout the region.
3. The purpose of the zone will also be achieved through the following additional overall outcomes for particular precincts:
 - (a) Clinton precinct:
 - (i) Development provides for predominately large floor plate 'home maker' retailing primarily in the form of showrooms and bulky good premises located in an integrated development site.
 - (b) Central Gladstone precinct:
 - (i) Development provides for the retailing of smaller scale bulky goods showrooms and outdoor sales activities in keeping with the constrained site characteristics due to its location between the Dawson Highway and rail corridor.
 - (ii) Development minimises the proliferation of access points from the Dawson Highway.
 - (c) Toolooa Street east precinct:
 - (i) Development provides for the retailing of smaller scale bulky goods showrooms and outdoor sales activities in keeping with the constrained site characteristics due to its location between Toolooa Street and rail corridor.
 - (ii) Development minimises the proliferation of access points from Toolooa Street.

6.2.25.3 Assessment benchmarks

Table 6.2.25.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker’s accommodation	
PO1 Development: (a) is ancillary to the primary use, and (b) provides adequate private open space for the caretaker (c) does not compromise ground level business activities being established.	AO1.1 No more than 1 caretaker’s accommodation unit is established on the site.
	AO1.2 Caretaker’s accommodation is a maximum of 100m ² GFA.
	AO1.3 Caretaker’s accommodation is: (a) located above the ground floor level, or (b) to the rear of ground level business activities.
	AO1.4 Caretaker’s accommodation is provided with a private open space area which: (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m ² with a minimum horizontal dimension of 1.25m.
Use – Dwelling unit	
PO2 Development does not compromise ground level business activities being established.	AO2 Development units are located either above the ground floor level, or to the rear of ground level business activities.
PO3 Development must provide sufficient and accessible open space for residents' needs.	AO3 Development provides a minimum of 16m ² private open space for each dwelling with a minimum horizontal dimension of 3m in any direction.
Building height (if involving building work)	
PO4 Building height is consistent with the intended character of the specialised centre and surroundings.	AO4 Building height does not exceed 12m.
If in the Clinton precinct	
PO5 Retail development: (a) supports large format, land consumptive showroom uses (b) does not service convenience level needs, and (c) does not impact on the viability of the region’s centres.	AO5 GFA is in accordance with the following: (a) a minimum of 500m ² for shop (where not a supermarket) (b) a maximum of 100m ² for food and drink outlet.

Performance outcomes	Acceptable outcomes
If in the Central Gladstone or Toolooa Street east precincts	
PO6 Retail or office development does not: <ul style="list-style-type: none"> (a) impact on the viability of the region's specialised centres, and (b) does not compromise the use of land for specialised centre purposes. 	AO6 GFA for Shop or Office is a maximum of 250m ² .
For all assessable development	
Use, scale and tenancy mix	
PO7 Development: <ul style="list-style-type: none"> (a) provides for, or supports, specialised centre uses that are not appropriate in other centres (b) is of a size and scale that meets the needs of the community, and (c) does not impact on the viability of other centres in the region. 	No acceptable outcome is nominated.
Centre design	
PO8 Development: <ul style="list-style-type: none"> (a) is proportionate to the size of the site (b) maintains and enhances the existing streetscape (c) protects adjacent amenity (d) maintains appropriate levels of light and solar penetration, air circulation, and privacy for adjoining properties (e) provides for public space and landscape areas, and (f) reduces building bulk. 	No acceptable outcome is nominated.
PO9 Buildings are designed to: <ul style="list-style-type: none"> (a) respect and complement the existing character of the area (b) maintain an appropriate human scale (c) minimise the use of highly reflective materials, and (d) respond to climatic conditions. 	No acceptable outcome is nominated.
PO10 Design elements contribute to an interesting and attractive streetscape and building through: <ul style="list-style-type: none"> (a) variations in material and building form to enable articulation of facades and differentiation between buildings 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (b) modulation in the façade, horizontally or vertically (c) articulation of building entrances and openings (d) corner treatments to address both street frontages, and (e) elements which assist in wayfinding and legibility. 	
<p>PO11</p> <p>Building caps and rooftops contribute to the architectural distinction of the building, and effectively screen service structures, lift over-runs, plant and equipment.</p>	No acceptable outcome is nominated.
<p>PO12</p> <p>Development is designed to facilitate the safety and security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) exterior building design that promotes safety (c) adequate lighting (d) appropriate signage and wayfinding (e) minimisation of personal concealment and entrapment locations, and (f) building entrances, parking, loading and storage areas that are well lit and have clearly defined access points. <p>Note—Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
Street interface	
<p>PO13</p> <p>Buildings are oriented to:</p> <ul style="list-style-type: none"> (a) the major street frontages and any public open space and public areas to: <ul style="list-style-type: none"> (i) promote, interaction and casual surveillance (ii) concentrate and reinforce pedestrian activity, and (iii) avoid opaque facades to provide visual interest to the frontage. 	No acceptable outcome is nominated.
<p>PO14</p> <p>Building and pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and car parking areas (b) incorporate sun and rain shelter, such as overhangs or awnings, and 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(c) are defined by human scale design elements (such as doors, windows, landscaping, etc).	
PO15 Development contributes towards high quality streetscape outcomes that integrate effectively with the street and along key pedestrian and cycle routes.	No acceptable outcome is nominated.
PO16 Development ensures safe, convenient and legible connections and pathways are provided: <ul style="list-style-type: none"> (a) for pedestrians and cyclists to, from and within the site, and (b) to public transport infrastructure, open space, parkland, centres and community-related activities. 	No acceptable outcome is nominated.
Landscape design	
PO17 Landscape elements are integrated in the building design through planting at various levels including on top of podiums, rooftops and within storeys. Note—Refer also to the Landscaping code.	No acceptable outcome is nominated.
PO18 Landscape treatments include hard and soft elements that: <ul style="list-style-type: none"> (a) are of a character and durability that reflects the centre (b) enhance the appearance of the centre (c) extends from the street edge into building entrances (d) emphasises a clear pedestrian entry point (e) screen unsightly components (f) provide shading, and (g) reflect and reinforces a subtropical image through integrating landscape, outdoor and indoor spaces. Note—Refer also to the Landscaping code.	No acceptable outcome is nominated.
Design and amenity	
PO19 Development is located and operated so that adverse impacts on privacy and amenity on nearby land in a residential zone are minimised.	AO19.1 Buildings are set back 3m from any boundary shared with a residential zone.
	AO19.2 A 1.8m high solid screen fence is provided along all boundaries shared with a residential zone.

Performance outcomes	Acceptable outcomes
	<p>AO19.3 A landscaped buffer with a minimum width of 2m and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p> <p>AO19.4 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of 50% transparent to obscure views and maintain privacy for residents.</p>
<p>PO20 Development does not adversely impact on the amenity of any adjoining residential uses.</p>	<p>AO20 Where adjoining a residential zone, hours of operation for any non-residential use is limited to between 6am and 10pm.</p>
<p>PO21 Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the centre, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) traffic (c) visual impact (d) signage (e) odour and emissions (f) lighting (g) access to sunlight (h) privacy, and (i) outlook. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO22 All uses:</p> <ul style="list-style-type: none"> (a) minimise noise, dust, odour or other nuisance from existing lawful uses, and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity. 	<p>No acceptable outcome is nominated.</p>
Car parking	
<p>PO23 Parking and loading areas do not visually dominate the streetscape.</p>	<p>No acceptable outcome is nominated.</p>
Storage areas	
<p>PO24 Ancillary storage of goods or materials is located in a manner that does not detract from the visual amenity of the local area.</p>	<p>AO24 Equipment, materials, goods and/or, machinery used on site are either:</p>

Performance outcomes	Acceptable outcomes
	(a) stored behind the front building setback and screened from view, or (b) stored within a building.
Effects of development	
PO25 Development responds sensitively to on-site and surrounding topography, coastal foreshores, waterways, drainage patterns, utility services, access, vegetation and adjoining land use, such that: <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised (c) the retention of natural drainage lines is maximised (d) the retention of existing vegetation is maximised (e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and (f) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
Use – Service station	
PO26 Buildings and structures allow for the safe operation of the service station.	AO26 All buildings and structures, including equipment associated with the service station operation are setback as follows: <ul style="list-style-type: none"> (a) 10m from the front boundary (b) 2m from the side and rear boundaries.
PO27 Retail components are ancillary to the service station use.	AO27 The maximum area of retail GFA is 80m ² .

6.2.26 Township

6.2.26.1 Application

This code applies to development where the code is identified as applicable in a table of assessment. When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.26.2 Purpose

1. The purpose of the township zone code is to provide for small village and town settlements in rural and coastal places. Development provides for a mix of uses including residential, retail, business, education, community purpose, recreation and open space that support the needs of the local community and surrounding hinterland areas. Non-residential uses can also include highway services and rural services. Tourist related uses such as tourist parks and small scale short-term accommodation may also be appropriate where they are consistent with township character.
2. The purpose of the zone will be achieved through the following overall outcomes:
 - (a) A range of residential, retail, commercial, administrative and cultural uses are provided.
 - (b) Non-residential uses are clustered on the main street of the township to ensure commercial uses are co-located and to minimise the amenity impacts on any adjoining residential uses.
 - (c) Development protects and enhances the unique local or historic character of a town.
 - (d) Developments provide entry statements which are unique to the local history of the township.
 - (e) Development services the needs of both local residents, residents of the surrounding rural and coastal hinterland areas and visitors.
 - (f) Development is designed to incorporate sustainable practices including maximising energy efficiency and water conservation.
 - (g) Development provides a high level of amenity.
 - (h) Community facilities and infrastructure that directly supports the local community is facilitated.
 - (i) Natural features such as creeks, gullies, waterways, wetlands, habitats, vegetation and bushland are retained, enhanced and buffered from the impacts of adjacent uses and any unavoidable impacts are minimised through location, design, operation and management requirements.
 - (j) Development responds to land constraints, including but not limited to topography, bushfire and flooding.

6.2.26.3 Assessment benchmarks

Table 6.2.26.3.1— Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes
Use – Caretaker's accommodation	
PO1 Development: (a) is ancillary to a non-residential use on the same site (b) provides adequate open space for the caretaker, and	AO1.1 No more than 1 caretaker's accommodation unit is established on the site.
	AO1.2 The caretaker's accommodation unit is a maximum of 100m ² GFA.

Performance outcomes	Acceptable outcomes
(c) does not compromise the low density, semi-rural or village character of the immediate area.	AO1.3 Private open space area is provided which: <ul style="list-style-type: none"> (a) is directly accessible from a habitable room, and (b) where a balcony, a veranda or a deck, has a minimum area of 15m² with minimum horizontal dimensions of 1.25m.
Building height (if involving building work)	
PO2 Buildings are: <ul style="list-style-type: none"> (a) low rise and visually unobtrusive, and (b) located and designed to reflect the low density or village character of the area. 	AO2 Building height does not exceed 8.5m.
Residential density	
PO3 Development reflects the low density character of the locality.	AO3.1 Maximum site cover is 50% or where a dual occupancy 40% of the total site area.
	AO3.2 Subject to compatibility of the site to sustainably dispose of effluent onsite, residential density is a maximum of: <ul style="list-style-type: none"> (a) one dwelling per allotment where a dwelling house (including one secondary dwelling), or (b) one dwelling per 400m² where a dual occupancy, and (c) where connection to a sewage system is not possible, sustainable effluent disposal on each allotment.
	AO3.3 Where a dwelling house, any secondary dwelling is: <ul style="list-style-type: none"> (a) a maximum of 80m² GFA (b) located within 50m of the main building (c) linked to the main building by a defined footpath in the most direct route possible.
Scale	
PO4 Non-residential development: <ul style="list-style-type: none"> (a) occurs at a scale which provides for the day to day convenience needs of township residents and hinterland areas (b) does not impact on the viability of the region's centres (c) does not compromise the low density village character of the locality, and (d) does not include large format, land consumptive commercial uses. 	AO4 GFA of the following uses does not exceed: <ul style="list-style-type: none"> (a) 500m² for shop or shopping centre (b) 250m² for agricultural supplies store, bulk landscape supplies, garden centre, hardware and trade supplies and health care services (c) 150m² for: <ul style="list-style-type: none"> (i) Food and drink outlet (ii) Club (iii) Community use (iv) Indoor sport and recreation (v) Market

Performance outcomes	Acceptable outcomes
	(vi) Office (vii) Place of worship (viii) Service industry (ix) Veterinary services.
Amenity	
PO5 The amenity of any adjoining residential uses is not unreasonably affected as a result of non-residential activity.	AO5 Where non-residential development adjoins a residential use, hours of operation are limited to 7am to 7pm.
PO6 Development provides adequate buffering and screening from any adjoining residential premises so that the privacy and amenity of residential premises are not adversely affected.	AO6.1 Where non-residential development adjoins residential premises, a 1.8m high solid screen fence is provided along all boundaries shared with residential premises.
	AO6.2 Plant and air-conditioning equipment is screened from view of the road or adjoining residential premises.
For all assessable development	
Land use	
PO7 Non-residential uses: (a) are located in clusters adjoining other non-residential uses on the town's main street (b) reinforce a main street character and streetscape.	No acceptable outcome is nominated.
Design and amenity	
PO8 Non-residential development provides adequate separation, buffering and screening from any adjoining residential premises so that the privacy and amenity of residential premises are not adversely affected.	AO8 Where non-residential activities adjoin residential premises, a minimum boundary side and rear setback of 3m is required for any: (a) buildings (b) temporary structure including markets (c) active outdoor use areas (d) site access points (e) car parking areas (f) servicing or outdoor storage areas.
PO9 Development has a high quality appearance and makes a positive contribution to the streetscape.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>PO10</p> <p>Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to:</p> <ul style="list-style-type: none"> (a) noise (b) traffic and parking (c) visual impact (d) odour and emissions (e) lighting (f) access to sunlight, and (g) privacy. <p>Note—Applicants may be asked to engage specialists to provide detailed investigations into the above matters to achieve compliance with this performance outcome.</p>	No acceptable outcome is nominated.
<p>PO11</p> <p>Development is to:</p> <ul style="list-style-type: none"> (a) minimise noise dust, odour or other nuisance from existing lawful uses including rural and industrial uses (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state-controlled road and rail network in the vicinity of the land. 	No acceptable outcome is nominated.
<p>PO12</p> <p>Development is designed to achieve safety for all users having regard to:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance and sight lines (b) avoiding personal concealment and entrapment locations (c) exterior building design that promotes safety (d) adequate lighting (e) appropriate signage and wayfinding, and (f) building entrances, parking areas, loading and storage areas that are well lit and have clearly defined access points. <p>Note—Applicants may find useful guidance in the Queensland Government's Crime Prevention through Environmental Design Guidelines for Queensland.</p>	No acceptable outcome is nominated.
<p>PO13</p> <p>Development responds sensitively to on-site and surrounding topography, coastal foreshores, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided (b) any earthworks are minimised 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(c) the retention of natural drainage lines is maximised</p> <p>(d) the retention of existing vegetation is maximised</p> <p>(e) damage or disruption to sewerage, stormwater and water infrastructure is avoided, and</p> <p>(f) there is adequate buffering, screening or separation to adjoining development.</p>	
<p>PO14</p> <p>Development that fronts the Bruce Highway provides an entry statement which incorporates artwork and landscaping along the full frontage relevant to the history and character of the Township.</p>	No acceptable outcome is nominated.
Use – Short term accommodation and tourist park	
<p>PO15</p> <p>Development is of a scale that does not compromise the low density and village character of the locality.</p>	<p>AO15.1</p> <p>Development of short term accommodation where a:</p> <p>(a) motel does not exceed 15 motel units</p> <p>(b) backpackers establishment does not exceed 30 beds.</p>
	<p>AO15.2</p> <p>Development for a tourist park does not exceed 50 park sites including 10 holiday cabins.</p>
<p>PO16</p> <p>Development provides adequate separation from any adjoining residential premises so that the privacy and amenity of residential premises are not adversely affected.</p>	<p>AO16</p> <p>Where a tourist park adjoins residential premises, the minimum setback to any communal buildings is 10m.</p>
Use – Service station	
<p>PO17</p> <p>Buildings and structures allow for the safe operation of the Service station.</p>	<p>AO17</p> <p>All buildings and structures, including equipment associated with the service station operation are setback as follows:</p> <p>(a) 10m from the front boundary</p> <p>(b) 3m from the side and rear boundaries.</p>
<p>PO18</p> <p>Retail components are ancillary to the Service station use.</p>	<p>AO18</p> <p>The maximum area of retail GFA including any Food and drink outlet is 150m².</p>

Performance outcomes	Acceptable outcomes
Use – Child care centre	
PO19 Development is: <ul style="list-style-type: none"> (a) compatible with neighbouring uses (b) complementary to local character and amenity (c) supports the day to day needs of residents (d) located on a site which must adequately accommodate activity needs and space requirements. 	No acceptable outcome is nominated.
PO20 Where a child care centre, development minimises: <ul style="list-style-type: none"> (a) the hazards of heavy traffic (b) introduction of non-local traffic into minor, residential streets, and (c) on-site conflict between children's activities, pedestrian movement, vehicle movement and car parking. 	AO20.1 The use is not accessed from: <ul style="list-style-type: none"> (a) arterial/sub-arterial routes, or (b) an access street or access place.
	AO20.2 Parking spaces are located so that children are not required to cross the driveway or vehicular access way to reach the building.