



# DEVELOPMENT SIGNS

## Notice of intention to commence public notification

*Section 17.2 of the Development Assessment Rules*

**DA/96/2025**

**Faith Baptist Church Inc**

**C/- Development Signs Australia Pty Ltd  
admin@developmentsigns.com.au**

**07 33 555 030**

**04 March 2026**

**Gladstone Regional Council**

**PO Box 29, Gladstone Qld 4680**

RE: Development application for:

**Extension to Educational establishment (Faith Baptist  
Christian School)**

**Where:** 1315 Dawson Highway, BURUA QLD 4680

**On:** Lot 21 SP120838

**Dear Sir/Madam**

In accordance with section 17.2 of the Development Assessment Rules, I intend to start the public notification required under section 17.1 on:

**06 March 2026**

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# DEVELOPMENT SIGNS

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At this time, I can advise that I intend to:

Publish a notice in:

Gladstone Today
on
05 March 2026

**and**

Place notice on the premises in the way prescribed under the Development Assessment Rules

05 March 2026
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**and**

Notify the owners of all lots adjoining the premises the subject of the application

04 March 2026
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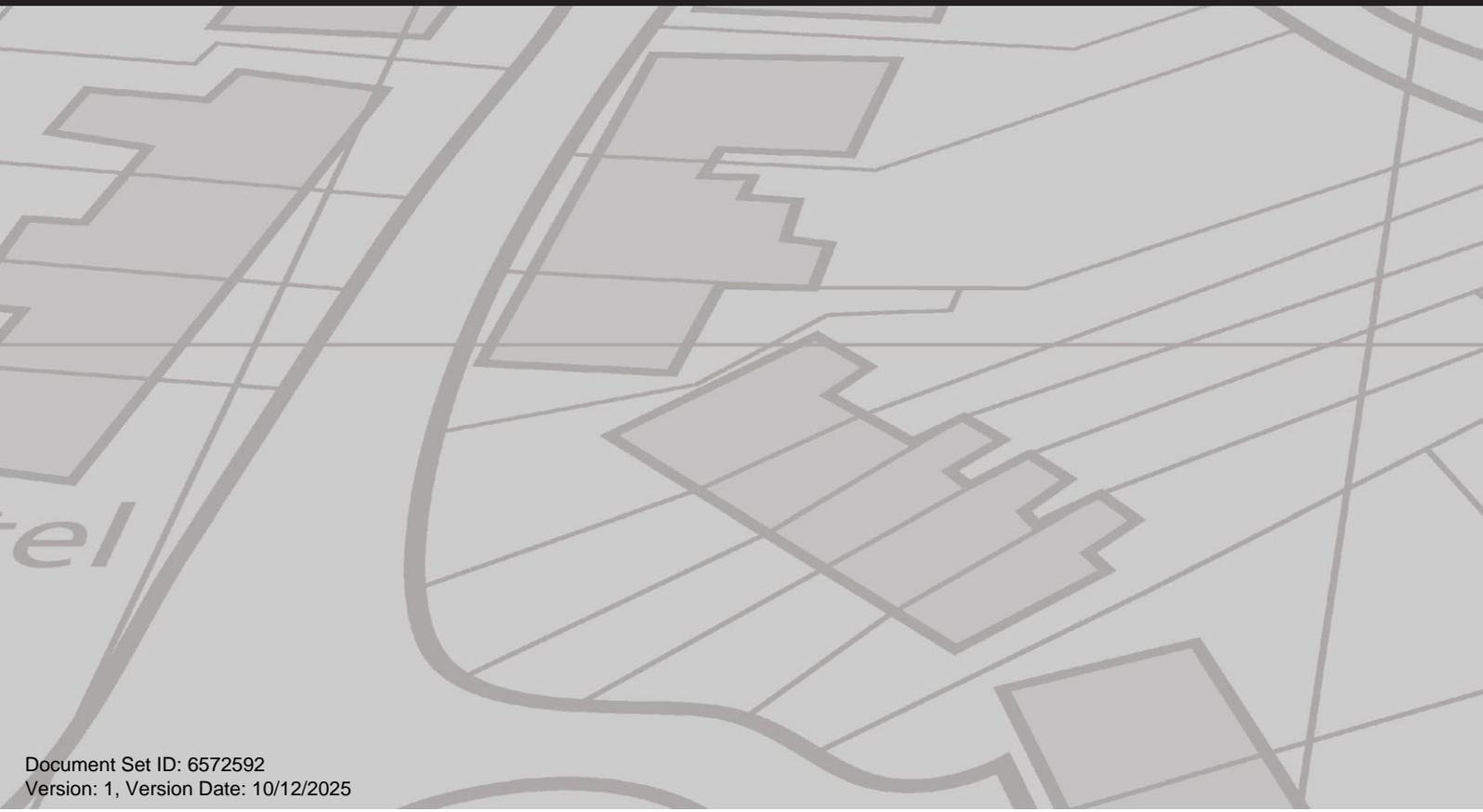
If you wish to discuss this matter further, please contact me on the above telephone number.

Yours sincerely

<p>Ben Dale</p>  <p>04 March 2026</p> 
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# Section 3 PLANS



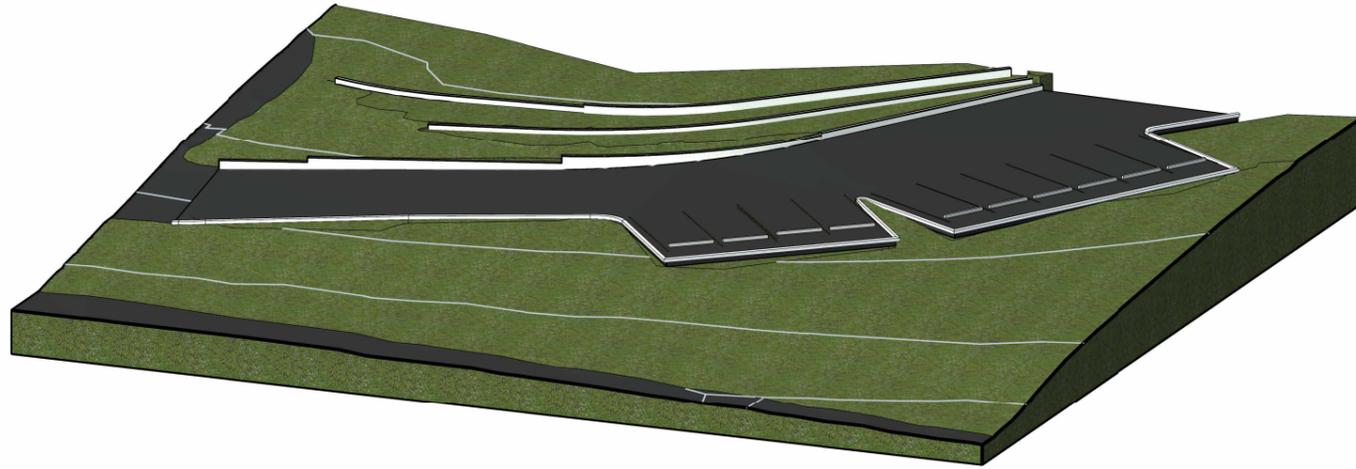
# DEVELOPMENT APPROVAL

## REVISION C

SCHOOL RENOVATION FOR  
**FAITH BAPTIST CHRISTIAN SCHOOL**

AT  
**LOT 21 (#1315) DAWSON HWY**  
**BURUA QLD 4680**

**WIND LOAD - C2**  
**BAL - LOW**



PAGE LIST	
PAGE NO	PAGE TITLE
01	COVER
02	SITE INFO & SCOPE
03	SITE INFORMATION
04	SITE PLAN OVERALL
05	SITE PLAN CARPARK
06	LANDSCAPE PLAN

**GENERAL NOTES:**

- ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:
  - THE CURRENT NATIONAL CONSTRUCTION CODES (NCC)
  - THE STATE DEVELOPMENT CODE
  - BUILDING REGULATIONS
  - CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
- SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING.
- 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
- ALL DIMENSIONS IN MILLIMETERS.
- DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH ON NEW WORK. EXISTING WALLS MAY BE NOMINALLY DIMENSIONED.
- ALL DIMENSIONS, DETAILS, SITE LEVELS AND FINISHED FLOOR LEVELS TO BE CONFIRMED BY CONTRACTOR BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES. MANUFACTURER'S SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER THE CONDITIONS APPLICABLE THESE DRAWINGS ARE AVAILABLE DIGITALLY, IF REQUIRED.
- ANY DATA SUPPLIED BY OTHERS AND SHOWN ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THIS DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA.
- OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING. STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.
- ALL WINDOW AND DOOR DIMENSIONS ARE NOMINAL.

**SITE WORKS NOTES:**

- POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
- ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/ PLUMBER IN ACCORDANCE WITH NCC VOL. 2 AND STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
- BUILDER TO ENSURE THAT ACTUAL SEWER LINE AND MANHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BUILDER TO DETERMINE APPROPRIATE PLATFORMING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. FINISHED FLOOR LEVEL IS TO BE ABOVE THE MINIMUM LEVEL AS PER LOCAL AUTHORITIES REQUIREMENTS & TO COMPLY WITH NCC VOL. 2
- FALL OF LAND UNKNOWN AND IS TO BE CONFIRMED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT, FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURRENT NCC VOLUME 2, AS 3798 & AS 4200.
- THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM.
- STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE -
  - STORMWATER KERB ADAPTERS TO STREET (2 MAX.)
  - ROOFWATER/STORMWATER PIPE
  - BUBBLERS TO COUNCIL SPECIFICATION.
  - RAINWATER TANK, OVERFLOW MUST CONNECT TO STORMWATER SYSTEM.
- SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES.
- ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.
- THE HEIGHT OF FENCES, INCLUDING THE HEIGHT OF RETAINING WALLS ARE NOT TO EXCEED 2.0m ABOVE FINISHED GROUND LEVEL ONLY IF INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.
- WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

**PATH/DRIVEWAY NOTES:**

- DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS, PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND ROAD KERB.
- PROVIDE A LAYER OF SAND A MINIMUM OF 20mm THICK UNDER THE SLAB, COMPACTED AND LEVELED.
- SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

**3D VIEW NOTES:**

- GROUND LINE OR SLOPE OF SITE IS NOT REPRESENTED ON 3D VIEWS.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

**ELECTRICAL NOTES:**

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.5 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS 3786.
  - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
  - ALL SMOKE ALARMS TO BE INTERCONNECTED
  - INSTALL LOCATIONS:
    - ON EACH LEVEL OF LIVING SPACE
    - OUTSIDE EACH BEDROOM AREA
    - IN EVERY BEDROOM
- THIS PLAN IS INDICATIVE ONLY AND IS TO BE USED ONLY AS AN EXAMPLE. OWNERS TO NOMINATE FINAL POSITIONS OF ELECTRICAL APPLIANCES, LIGHTING AND ELECTRICAL FITTINGS.

**ELEVATION NOTES:**

- WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.
- GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- ELEVATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

**SECTION NOTES:**

- TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESCRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURER SPECIFICATIONS.
- ALL PINE TO BE JD4 MIN.
- ALL HWD. TO BE F14 MIN.
- GROUND LINE SHOWN DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- SECTIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

**FOUNDATION NOTES:**

- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE CONFIRMED BY INSPECTION OF FOOTING EXCAVATIONS. PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED.
- WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE.
- REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm, AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN.
- ACCORDING TO MANUF' SPEC. OR BUILDERS DIRECTIONS.
- MINIMUM COVER TO GROUND - 50mm.
- TOP COVER TO SLAB REINFORCEMENT - 30mm.
- GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
- WATERPROOF MEMBRANE IS 0.2mm POLYETHYLENE. JOINTS ARE TO BE LAPPED 300mm AND TAPED.
- REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 1000mm CRS.
- ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING.
- FILL MATERIAL AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. DRY DENSITY.
- FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE.

**TERMITE RISK NOTES:**

- TERMITE CONTROL BARRIERS TO BE IN ACCORDANCE WITH AS 3660.1 AND NCC CLAUSE 3.1.3.
- ANY UNTREATED TIMBER POSTS, STAIRS AND THE LIKE SHALL BE SET 75MM MINIMUM CLEAR OF GROUND FOR VISUAL TERMITE CONTROL.
- TWO APPROVED NOTICES SHALL BE AFFIXED TO THE DWELLING AS REQUIRED ADVISING OWNERS OF THE METHOD OF TERMITE RISK MANAGEMENT USED, AND THEIR ONGOING RESPONSIBILITY FOR THE MAINTENANCE OF THE SYSTEMS.
- BUILDER TO CONFIRM WITH OWNER THE CHOSEN METHOD OF TIMBER PROTECTION.
- OWNER REMAINS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL TIMBER ELEMENTS, AND THAT BARRIERS ARE NOT COMPROMISED.
- WHERE CONCRETE SLAB FORMS BARRIER, SLAB TO BE CONSTRUCTED AS PER AS2870. SLAB & FOOTINGS TO BE "MONOLITHIC". TERMITE COLLAR FLANGE TO BE CLAMPED TO PIPES AND SET IN SLAB. 75MM MIN OF EXPOSED SLAB EDGE TO REMAIN ABOVE FINISHED PERIMETER LEVEL. EXPOSED EDGE NOT TO BE COVERED BY SOIL, RENDERED OR TILED, BUT MAY BE PAINTED. WHERE BRICKWORK CONCEALS EDGE OF SLAB, IN ADDITION TO ABOVE, PROVIDE TERMITE COLLAR BARRIER BELOW D.P.C. FIXED TO SLAB EDGE.
- INSTALL ANT CAPPING TO ALL BRICK PIERS, TIMBER OR CONC STUMPS. KEEP TIMBER CLEAR OF GROUND WHEN ON STEEL ANCHORS. NON-TIMBER ELEMENTS (EG STEEL POSTS) NEED NO PROTECTION FROM TERMITES.
- ALL TIMBER IN DIRECT CONTACT WITH CONC TO BE SEPARATED BY G.I. FLASHING.

**FLOOR PLAN NOTES:**

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.5 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS3786.
  - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
  - ALL SMOKE ALARMS TO BE INTERCONNECTED
  - INSTALL LOCATIONS:
    - ON EACH LEVEL OF LIVING SPACE
    - OUTSIDE EACH BEDROOM AREA
    - IN EVERY BEDROOM
- WALL FINISHES AND WINDOW TYPES ON 3D VIEWS ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- ALL GLAZING TO BE IN ACCORDANCE WITH AS1288. WINDOWS SIZES MAY VARY DUE TO MANUFACTURER'S SPECIFICATIONS.
- BUILDER TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE CLADDING/LININGS (UNO).
- S.S. BALUSTRADING TO COMPLY WITH CURRENT NCC VOLUME 2 SECTION 3.9.2.3 'WIRE BALUSTRADING CONSTRUCTION'
- DOORS TO W.C.'S TO HAVE LIFT OFF HINGES (ONLY IF THE DOORS SWING IN TOWARDS THE W.C.)
- MASONRY CONSTRUCTION TO AS 3700.
- REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, TIE DOWN AND SLAB/FOOTING DETAILS.
- SEAL WET AREAS IN ACCORDANCE WITH AS3740 & NCC REQUIREMENTS.
- PROVIDE FLOOR WASTE TO ALL WET AREAS.

**ROOF DRAINAGE NOTES:**

- ALL GUTTER AND DOWNPIPE WORKS TO AS/NZS 3500.3 AND CURRENT NCC VOLUME 2 PART 3.5.2.
- DOWNPIPES (DP) TO BE 100mmØ UPVC.
- TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION DRAINING ROOFWATER ONTO GROUND, 2M MIN AWAY FROM BUILDING.
- ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/ PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
- THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING. THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM NCC TABLE 3.5.2.1 OR FROM AS/NZ3500.3.
- EAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 500 WITH SUPPORT BRACKETS AT 1.2m MAXIMUM CENTRES.
- BOX GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100 IN ACCORDANCE WITH AS/NZ3500.3.
- DOWNPIPES MUST SERVE NOT MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS. EAVES GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 1.2 METRES FROM A VALLEY GUTTER.



CONTACT:  
 BENJAMIN DYE  
 0419 786 578  
 ben@bkddevelopments.com.au

PROJECT PLAN NUMBER: #389  
 CLIENT: **FAITH BAPTIST CHRISTIAN SCHOOL**

PROJECT: **SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680**

CHECKED: BD  
 PAGE NO: 01 OF 06  
 SCALE @ A3 NTS

REV	DESCRIPTION	DRAWN	DATE
A	DEVELOPMENT APPROVAL	KF	25/07/25
B	DEVELOPMENT APPROVAL	KF	11/08/25
C	DEVELOPMENT APPROVAL	KF	02/09/25

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SCALE NOT APPLICABLE

DEVELOPMENTS

ABN: 24 212 057 781  
 QBCC LIC: 728975

BUILDERS NUMBER: N/A  
 DRAWING NAME: **COVER**



**ONLINE MAPPING AERIAL VIEW**

**PROPERTY DESCRIPTION:**

LOT: 21 on SP120838  
 SUBURB: BURUA  
 LOCAL AUTHORITY: GLADSTONE R.C.

ZONE LAND USE: RURAL RESIDENTIAL  
 OVERLAYS: BUSHFIRE, ACID SULPHATE,  
 AIRPORT, BIODIVERSITY, TRANSPORT  
 SITE AREA: 82600sq.m.  
 AREA OF PROPOSED: 752.5sq.m.  
 SITE COVER: 0.91%

WIND LOAD - C2  
 BAL - LOW

**SCOPE AREAS:**

- SCOPE A - AMENITIES ADDITION (STAGE 1)
- SCOPE B - PWD RAMP, COVERED DECK AREA AND DEMOUNTABLES (STAGE 1 / 3)
- SCOPE C - DECK AND DEMOUNTABLES ADDITION (STAGE 2)
- SCOPE D - ADDITIONAL CARPARK (STAGE 1)



SCOPE B - RAMP, COVERED DECK & DEMOUNTABLES ADDITION



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BUILDERS NUMBER:  
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CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

DRAWING NAME:  
**SITE INFO & SCOPE**

PROJECT:  
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Property Address: **1315 Dawson Highway BURUA**  
 Lot on Plan Number: **21SP120838** Area: **8.26 Ha**  
 Zone: **Rural Residential** Precinct: **BeecherBuruaPrecinct**

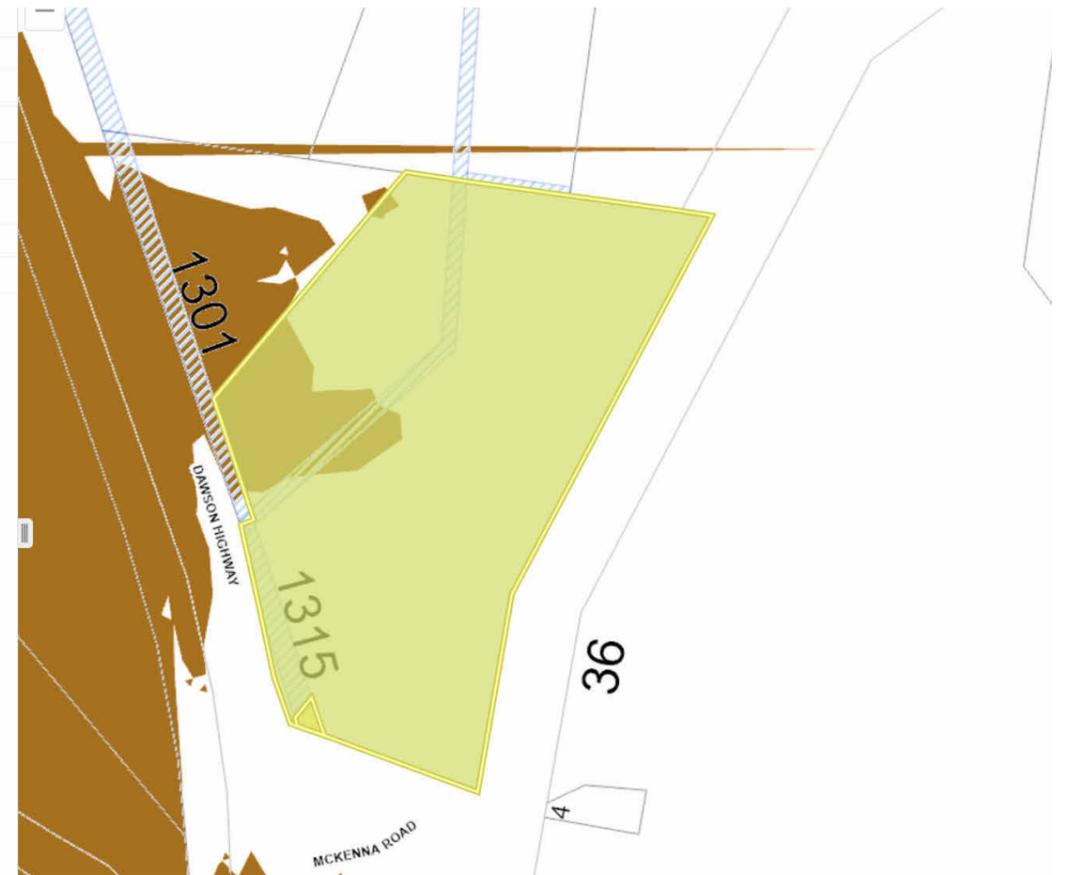
**Affected by Overlay Codes**

- [Acid Sulphate Soils](#)
- Agricultural Land
- [Airport](#)
- [Airport Obstacle Limitation Surface](#)
- [Airport 5m Obstacle Limitation Surface](#)
- [Biodiversity](#)
- [Bushfire Hazard](#)
- Building Heights & Frontages
- [Coastal Hazard](#)
- [Extractive Resources and Minerals](#)
- [Flood Hazard](#)
- [Heritage](#)
- Historic Mine Sites
- Mining Lease
- [Regional Infrastructure](#)
- [Scenic Amenities](#)
- [Steep Land](#)
- Transport
- [Water Resources](#)



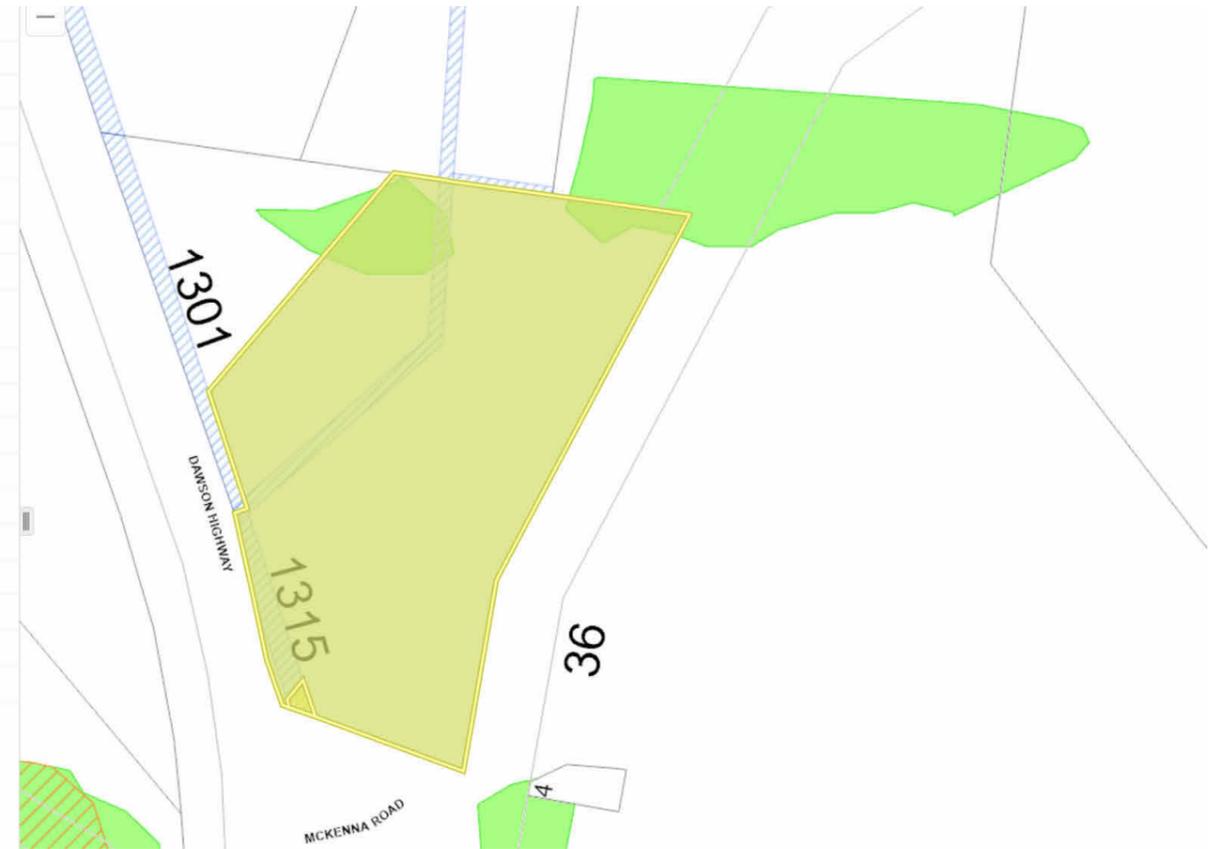
**BaseLayers (Map Service)**

- RoadCentrelines
  - Easement
  - BaseParcel
  - BasePoint
- PlanningScheme**
- AcidSulphateSoils0\_5
  - AcidSulphateSoils5\_20



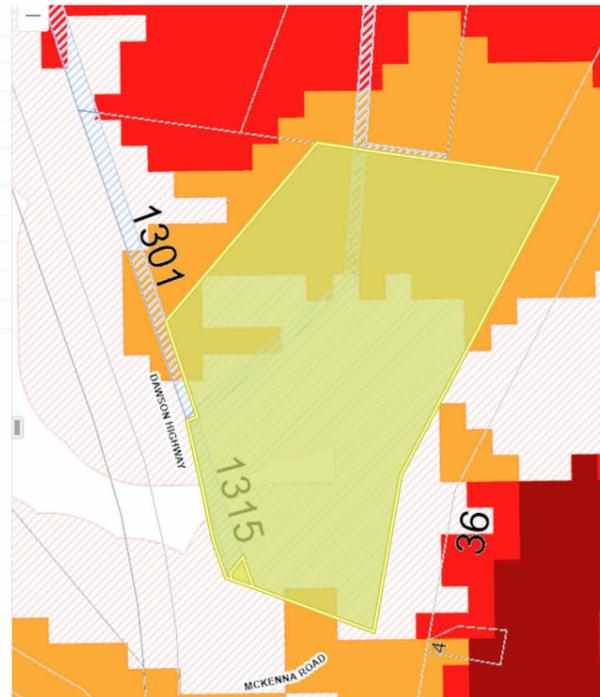
**BaseLayers (Map Service)**

- RoadCentrelines
  - Easement
  - BaseParcel
  - BasePoint
- PlanningScheme**
- Turtle Nesting Sites
  - Turtle Nesting Sites Buffer
  - MSES - Regulated vegetation (intersecting a watercourse)
  - MSES - High ecological value waters
  - MSES - Wild rivers (high preservation area)
  - MSES - High ecological value waters (wetland)
  - MSES - 'High Ecological Significance' wetlands
  - MSES - Wildlife habitat
  - MSES - Regulated vegetation
  - MSES - Protected area
  - MSES - Declared fish habitat area
  - MSES - Marine park
  - MSES - Legally secured offset area



**BaseLayers (Map Service)**

- RoadCentrelines
  - Easement
  - BaseParcel
  - BasePoint
- PlanningScheme**
- BushFireHazard



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ZONE LAND USE: RURAL RESIDENTIAL  
 OVERLAYS: BUSHFIRE, ACID SULPHATE,  
 AIRPORT, BIODIVERSITY, TRANSPORT  
 SITE AREA: 82600sq.m.  
 AREA OF PROPOSED: 752.5sq.m.  
 SITE COVER: 0.91%

WIND LOAD - C2  
 BAL - LOW

**PARKING REQUIREMENTS:**

RURAL RESIDENTIAL (EDUCATIONAL ESTABLISHMENT) = 1 SPACE PER 50m<sup>2</sup>

EXISTING BUILDINGS GFA: UNKNOWN  
 EXISTING PARKING SPACES: 23

PROPOSED BUILDINGS GFA = 453.7m<sup>2</sup>  
 TOTAL ADDITIONAL REQUIRED: 10 SPACES

**SCOPE AREAS:**

- SCOPE A - AMENITIES ADDITION (STAGE 1)
- SCOPE B - PWD RAMP, COVERED DECK AREA AND DEMOUNTABLES (STAGE 1 / 3)
- SCOPE C - DECK AND DEMOUNTABLES ADDITION (STAGE 2)
- SCOPE D - ADDITIONAL CARPARK (STAGE 1)



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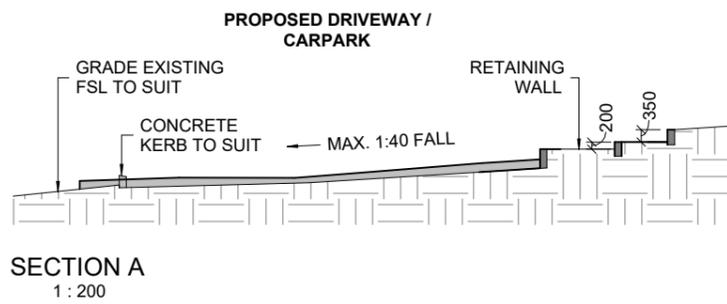
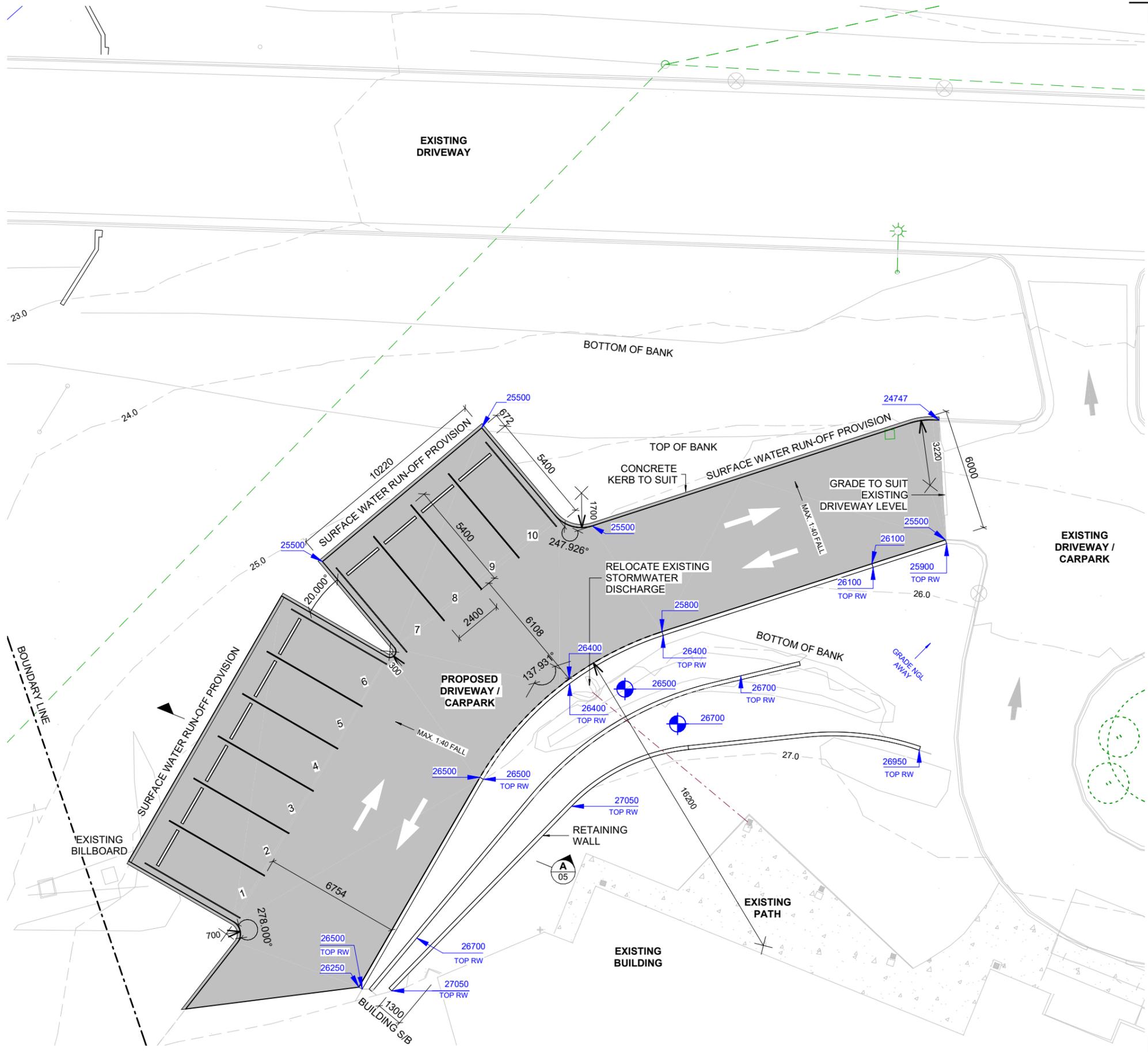
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**LANDSCAPE PLANTS**

-  GROUNDCOVERS, ECHIDNA GRASS OR SIMILAR, 300mm HIGH MAINTAINED, 1L POT PLANTING SIZE
-  SCREEN PLANT, BIRD OF PARADISE OR SIMILAR, 1500mm HIGH MAINTAINED, 1L POT PLANTING SIZE
-  GROUNDCOVERS, MAT RUSH OR SIMILAR, 400-600mm HIGH MAINTAINED, 1L POT PLANTING SIZE
-  LANDSCAPE TREES / HEDGES, LILLY PILLY OR SIMILAR, MAINTAINED @ 1200-1500mm HIGH, 2L POT PLANTING SIZE
-  TUCKEROO OR SIMILAR, 6m HIGH FULL GROWN, 20L POT PLANTING SIZE

**LANDSCAPE LEGEND:**

 GARDEN - 237m<sup>2</sup>



**PLANTING DETAILS S**

IMAGE	DESCRIPTION	DETAILS	IMAGE	DESCRIPTION	COMMON NAME	MATURE HEIGHT	POT SIZE
	GARDEN MIX SOIL FOR CREATION OF GARDEN BEDS	200mm DEEP		LOMANDRA CONFERTIFOLIA	ECHIDNA GRASS	300mm	1L
	HARDWOOD MULCH WOOD CHIP FOR GARDEN BEDS	100mm COVER		STRELITZIA REGINAE	BIRD OF PARADISE	1500mm	1L
N/A	SPRINKLER SYSTEM & AUTO TIMER	SPECIFIC SYSTEM TBC BY CLIENT		LOMANDRA LONGIFOLIA	MAT RUSH	400-600mm	1L
	COUCH GRASS TURF	N/A		SYZYGIIUM SMITHII	LILLY PILLY	MAINTAINED AT 1200-1500mm	2L
	SAND / DIRT TURF MIX UNDERLAY	N/A		CUPANIOPSIS ANACARDIODES	TUCKEROO	6m	20L

**LANDSCAPING INSTALLATION**

1. ALL PLANTS TO BE PLANTED EVENLY AROUND THE SITE WITH DENSE PLANTING ON THE ROAD SIDE OF THE SITE
2. ALL PLANTS WITH ARE ALL FROM THE NATIVE PLANT LIST
3. THE SITE PLAN SHOWS THE OUTLINE OF THE BUILDINGS IN RELATION TO THE BOUNDARIES AND THE GARDENS
4. THE SITE WILL BE CLEARED OF ALL EXISTING VEGETATION
5. PLANT LEGEND ON THIS PAGE SHOWS THE SPECIES TYPE AND EXPECTED MATURE HEIGHT
6. ALL PATHS AND PAVING ARE SHOWN ON THE SITE PLAN, ALL WILL BE HARDSTAND MATERIAL OR CONCRETE OR BITUMEN
7. THE GARDENS IN ALL THE COMMON AREAS WILL HAVE AUTOMATIC SPRINKLERS ON A TIMER AND WILL BE MAINTAINED BY THE APPROPRIATE AUTHORITY



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PROJECT PLAN NUMBER:  
#389

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

PROJECT:  
**SCHOOL RENOVATION FOR  
FAITH BAPTIST CHRISTIAN SCHOOL AT  
LOT 21 (#1315) DAWSON HWY  
BURUA QLD 4680**

CHECKED:  
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PAGE NO:  
06 OF 06

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1:100

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C	DEVELOPMENT APPROVAL	KF	02/09/25

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# ELECTRICAL & FIXTURES LEGEND

- LIGHTING**
- | SYMBOL | DESCRIPTION               |
|--------|---------------------------|
|        | DOWN LIGHT RECESSED       |
|        | FLUORO SINGLE 1200mm      |
|        | FLUORO DOUBLE 1200mm      |
|        | DOWN LIGHT RECESSED 200mm |
|        | PENDANT                   |
|        | OYSTER LED LIGHT          |
|        | TRACK LIGHT               |
|        | UP/DOWN LIGHT             |

- POWER & COMMS**
- | SYMBOL | DESCRIPTION           |
|--------|-----------------------|
|        | GPO SINGLE            |
|        | GPO DOUBLE            |
|        | GPO SINGLE WATERPROOF |
|        | GPO DOUBLE WATERPROOF |
|        | DISTRIBUTION BOX      |
|        | METER BOX             |

- FIXTURES**
- | SYMBOL | DESCRIPTION          |
|--------|----------------------|
|        | SMOKE ALARM          |
|        | AIR CON HEAD (SPLIT) |
|        | AIR CON UNIT (SPLIT) |
|        | HOSE COCK            |
|        | EXHAUST CEILING FAN  |
|        | CEILING FAN          |

CEILING MOUNTED EXIT SIGN - AS2293.1 COMPLIANT

ELECTRICAL LINE

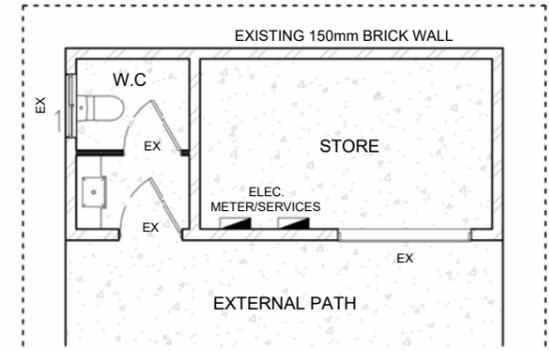
**POWER POINT HEIGHTS AFL**

LIGHT SWITCHES	1150mm	AFL
WALL MOUNTED LIGHTS	2000mm	AFL
POWER OUTLETS (STANDARD)	300mm	AFL

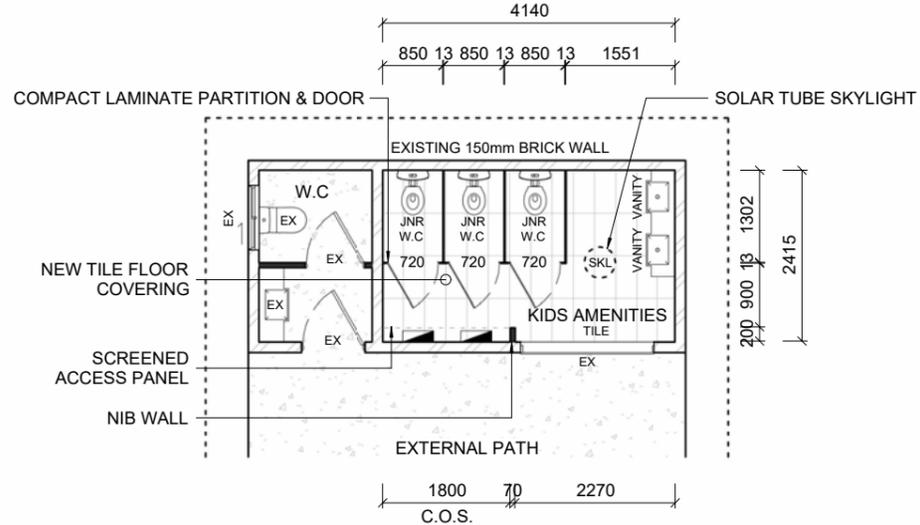
**LEGEND**

- A AWNING WINDOW
- B.D BI-FOLD DOORS
- C CASEMENT WINDOW
- D.HU DOUBLE HUNG WINDOW
- F.G FIXED GLASS WINDOW
- HL HIGHLIGHT
- LU LOUVRE WINDOW
- M.V MECHANICAL VENT
- SKL SKYLIGHT
- SL SIDELIGHT
- SL.G.D SLIDING GLASS DOOR
- S.W SLIDING WINDOW

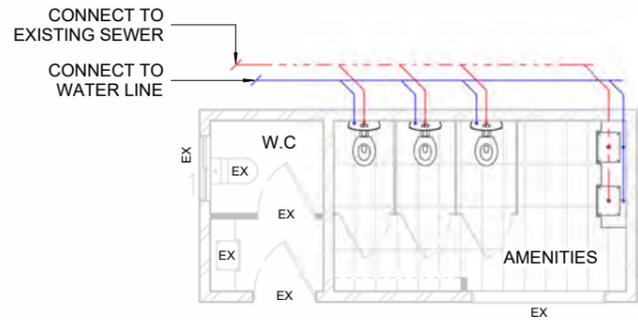
- FLOOR WASTE
- GAS BOTTLES
- HOSE COCK
- HOT WATER
- ELEC M/BOX
- SMOKE ALARM



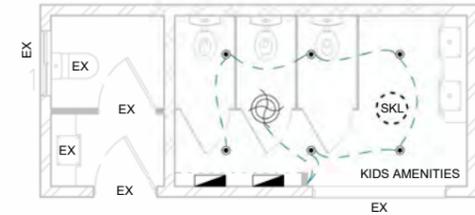
S1 EXISTING PLAN



S1 PROPOSED PLAN



S1 HYDRAULIC PLAN



S1 ELECTRICAL PLAN

**10.2.23 PENETRATIONS**

PENETRATIONS WITHIN SHOWER AREAS MUST COMPLY WITH THE FOLLOWING:

(A) PENETRATIONS FOR TAPS, SHOWER NOZZLES AND THE LIKE MUST BE WATERPROOFED BY SEALING WITH—

- (I) SEALANTS; OR
- (II) PROPRIETARY FLANGE SYSTEMS; OR
- (III) A COMBINATION OF (I) AND (II).

(B) THE SPINDLE HOUSING OF THE TAP BODY MUST BE ABLE TO BE REMOVED TO ENABLE REPLACEMENT OF THE WASHER WITHOUT DAMAGING THE SEAL.

(C) THE FOLLOWING MUST BE WATERPROOFED:

- (I) ALL PENETRATIONS DUE TO MECHANICAL FIXINGS OR FASTENINGS OF SUBSTRATE MATERIALS.
- (II) ANY PENETRATION OF THE SURFACE MATERIALS DUE TO MECHANICAL FIXINGS OR FASTENINGS.
- (III) RECESSED SOAP HOLDERS (NICHS) AND THE LIKE.

(D) TAP AND SPOUT PENETRATIONS ON HORIZONTAL SURFACES SURROUNDING BATHS AND SPAS MUST BE WATERPROOFED BY—

- (I) SEALING THE TAP BODY TO THE SUBSTRATE WITH SEALANTS; OR
- (II) PROPRIETARY FLANGE SYSTEMS.

**FLOOR AREAS**

STAGE 1 - AMENITIES ADDITION	10.0 m <sup>2</sup>
STAGE 1 - DECK OUTDOOR AREA	84.2 m <sup>2</sup>
STAGE 1 - DECK RAMP / LANDING	20.5 m <sup>2</sup>
STAGE 1 - DEM. AMENITIES LANDING	3.9 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE AMENITIES	18.0 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE BUILDING 2	72.6 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE BUILDING 1	72.6 m <sup>2</sup>
STAGE 2 - DEMOUNTABLES	145.3 m <sup>2</sup>
STAGE 2 - VERANDAH	57.7 m <sup>2</sup>
STAGE 3 - DECK OUTDOOR AREA	122.4 m <sup>2</sup>
STAGE 3 - DEMOUNTABLE BUILDING 3	72.6 m <sup>2</sup>
STAGE 3 - DEMOUNTABLE BUILDING 4	72.6 m <sup>2</sup>
TOTAL	752.5 m <sup>2</sup>

**KIDS AMENITIES NOTES:**

- ALL COMPACT LAMINATE DOORS AND PARTITIONS TO BE INSTALLED TO MANU. SPEC.
- SCREEN MESH TO EXISTING ELECTRICAL SWITCH BOARD TO BE LOCKABLE
- SOLAR TUBE SKYLIGHT LOCATION TO BE CONFIRMED ON SITE BY BUILDER.
- CONNECT ALL SANITARY DISCHARGE TO EXISTING SEWER POINT.
- CONNECT EXISTING WATER LINE TO PROPOSED PLUMBING FIXTURES.
- NEW FLOOR TILES AND TILED SKIRT - TO BE SELECTED BY CLIENT.
- PROVIDE PVC CONDUITS TO EXISTING SURACES WHERE REQUIRED, PAINT TO MATCH EXISTING.
- ALL W.C PANS TO BE 'JUNIOR' SIZES.

**10.2.5 OTHER AREAS**

- (1) FOR WALLS ADJOINING OTHER TYPES OF VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB), THE FOLLOWING APPLIES:
- (A) WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL (SEE FIGURE 10.2.5).
  - (B) WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.
  - (C) WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.
- (2) FOR LAUNDRIES AND WCS, THE FOLLOWING APPLIES:
- (A) THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
  - (B) WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40 MM.
- (3) FOR WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS, THE FOLLOWING APPLIES:
- (A) THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- (B) WALLS MUST BE—
- (I) WATERPROOF IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE FLOOR SUBSTRATE; AND
  - (II) WATER RESISTANT IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET DEVICE TO NOT LESS THAN 1200MM ABOVE THE FINISHED FLOOR LEVEL OF THE WC.
- (C) WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
- (D) WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF. PENETRATIONS IN THE WC AREA MUST BE WATERPROOF.



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PROJECT PLAN NUMBER: #389

CLIENT: FAITH BAPTIST CHRISTIAN SCHOOL

PROJECT: SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680

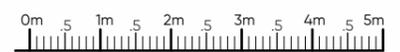
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A	CONSTRUCTION REVIEW	KF	25/02/25
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**PROPERTY DESCRIPTION:**

LOT: 21 on SP120838  
 SUBURB: BURUA  
 LOCAL AUTHORITY: GLADSTONE R.C.

ZONE LAND USE: RURAL RESIDENTIAL  
 OVERLAYS: BUSHFIRE, ACID SULPHATE,  
 AIRPORT, BIODIVERSITY, TRANSPORT  
 SITE AREA: 82600sq.m.  
 AREA OF PROPOSED: 752.5sq.m.  
 SITE COVER: 0.91%

WIND LOAD - C2  
 BAL - LOW



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 ben@bkdevelopments.com.au

ABN: 24 212 057 781  
 QBCC LIC: 728975

PROJECT PLAN NUMBER:  
 #389

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

BUILDERS NUMBER:  
 N/A

DRAWING NAME:  
**SCOPE B EXISTING SITE PLAN**

PROJECT:  
**SCHOOL RENOVATION FOR  
 FAITH BAPTIST CHRISTIAN SCHOOL AT  
 LOT 21 (#1315) DAWSON HWY  
 BURUA QLD 4680**

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 SUBURB: BURUA  
 LOCAL AUTHORITY: GLADSTONE R.C.

ZONE LAND USE: RURAL RESIDENTIAL  
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 AIRPORT, BIODIVERSITY, TRANSPORT  
 SITE AREA: 82600sq.m.  
 AREA OF PROPOSED: 752.5sq.m.  
 SITE COVER: 0.91%

WIND LOAD - C2  
 BAL - LOW

**SCOPE AREAS:**

**S1 - AMENITIES ADDITION**  
**S2 - PWD RAMP, COVERED DECK**  
**AREA AND DEMOUNTABLES**

**FLOOR AREAS**

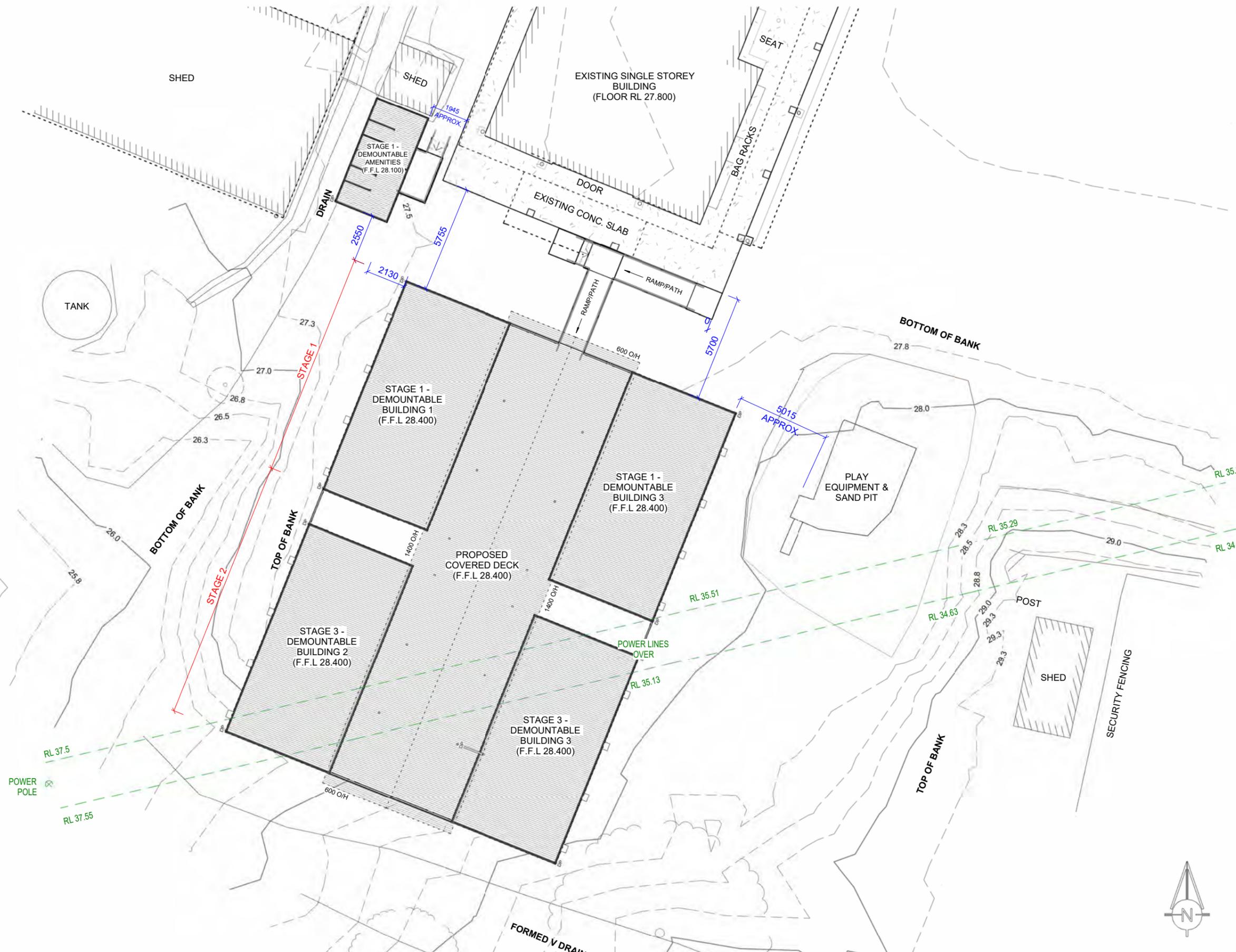
STAGE 1 - AMENITIES ADDITION	10.0 m <sup>2</sup>
STAGE 1 - DECK OUTDOOR AREA	84.2 m <sup>2</sup>
STAGE 1 - DECK RAMP / LANDING	20.5 m <sup>2</sup>
STAGE 1 - DEM. AMENITIES LANDING	3.9 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE AMENITIES	18.0 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE BUILDING 2	72.6 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE BUILDING 1	72.6 m <sup>2</sup>
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STAGE 2 - VERANDAH	57.7 m <sup>2</sup>
STAGE 3 - DECK OUTDOOR AREA	122.4 m <sup>2</sup>
STAGE 3 - DEMOUNTABLE BUILDING 3	72.6 m <sup>2</sup>
STAGE 3 - DEMOUNTABLE BUILDING 4	72.6 m <sup>2</sup>
TOTAL	752.5 m <sup>2</sup>

**SITE / BUILDING FFLS**

PAD LEVEL -	27.700
AMENITIES LEVEL -	28.100
DECK LEVEL -	28.400

**LEGEND**

- UNDERGROUND GAS MARKER
- HYDRANT
- STORM WATER PIT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MAN HOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT
- SITE BENCH MARK
- SEWER LINE
- CONTOUR LINE
- EXISTING RETAINING
- NEW RETAINING
- ROOF LINE
- STORM WATER LINE
- FENCE
- ELECTRICAL
- TELSTRA COMMUNICATIONS
- WATER LINE



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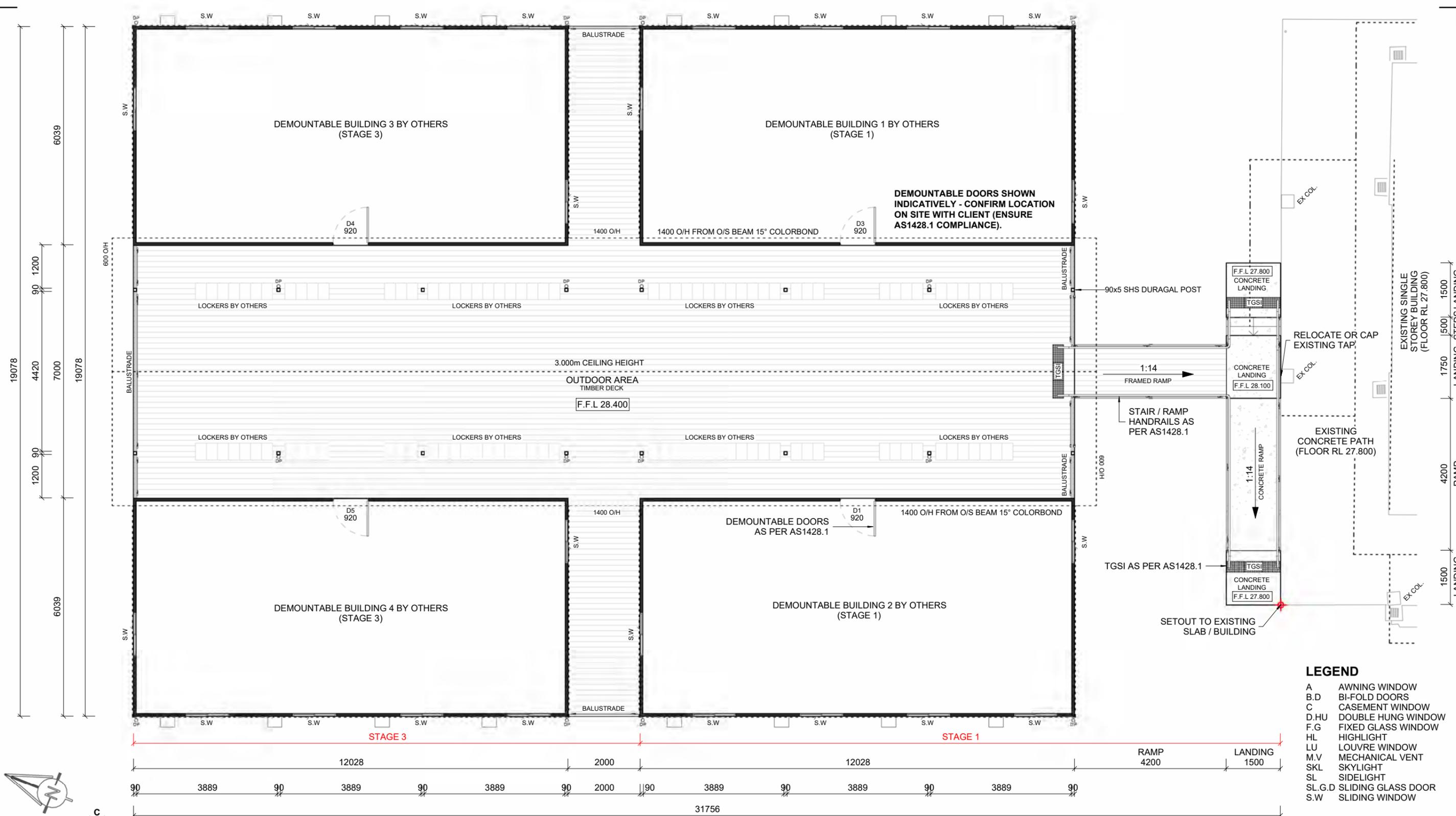
PROJECT PLAN NUMBER: #389  
 CLIENT: FAITH BAPTIST CHRISTIAN SCHOOL  
 BUILDERS NUMBER: N/A  
 DRAWING NAME: SCOPE B SITE PLAN

PROJECT: SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680

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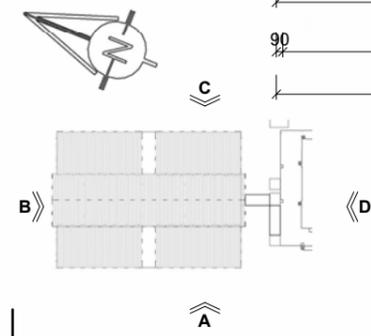
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- LEGEND**
- A AWNING WINDOW
  - B.D BI-FOLD DOORS
  - C CASEMENT WINDOW
  - D.HU DOUBLE HUNG WINDOW
  - F.G FIXED GLASS WINDOW
  - HL HIGHLIGHT
  - LU LOUVRE WINDOW
  - M.V MECHANICAL VENT
  - SKL SKYLIGHT
  - SL SIDELIGHT
  - SL.G.D SLIDING GLASS DOOR
  - S.W SLIDING WINDOW

- FLOOR WASTE
- ⊗ GAS BOTTLES
- + HOSE COCK
- ⊗ HOT WATER
- ⬛ ELEC M/BOX
- ⊗ SMOKE ALARM



**SITE / BUILDING FFLS**

PAD LEVEL -	27.700
AMENITIES LEVEL -	28.100
DECK LEVEL -	28.400

**DOOR SCHEDULE**

MARK	SIZE	DOOR TYPE	DESCRIPTION
D1	2040 x 920	SOLID CORE SWING	SINGLE SWING
D3	2040 x 920	SOLID CORE SWING	SINGLE SWING
D4	2040 x 920	SOLID CORE SWING	SINGLE SWING
D5	2040 x 920	SOLID CORE SWING	SINGLE SWING

**FLOOR AREAS**

STAGE 1 - AMENITIES ADDITION	10.0 m <sup>2</sup>
STAGE 1 - DECK OUTDOOR AREA	84.2 m <sup>2</sup>
STAGE 1 - DECK RAMP / LANDING	20.5 m <sup>2</sup>
STAGE 1 - DEM. AMENITIES LANDING	3.9 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE AMENITIES	18.0 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE BUILDING 2	72.6 m <sup>2</sup>
STAGE 1 - DEMOUNTABLE BUILDING 1	72.6 m <sup>2</sup>

**FLOOR AREAS**

STAGE 2 - DEMOUNTABLES	145.3 m <sup>2</sup>
STAGE 2 - VERANDAH	57.7 m <sup>2</sup>

**FLOOR AREAS**

STAGE 3 - DECK OUTDOOR AREA	122.4 m <sup>2</sup>
STAGE 3 - DEMOUNTABLE BUILDING 3	72.6 m <sup>2</sup>
STAGE 3 - DEMOUNTABLE BUILDING 4	72.6 m <sup>2</sup>
<b>TOTAL</b>	<b>752.5 m<sup>2</sup></b>



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PROJECT PLAN NUMBER:  
#389

BUILDERS NUMBER:  
N/A

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

DRAWING NAME:  
**SCOPE B DEMOUNTABLES FLOOR PLAN**

PROJECT:  
**SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680**

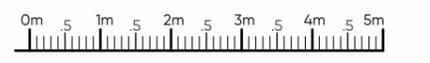
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**FLOOR AREAS**

STAGE 1 - AMENITIES ADDITION	10.0 m <sup>2</sup>
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**SITE / BUILDING FFLS**

PAD LEVEL -	27.700
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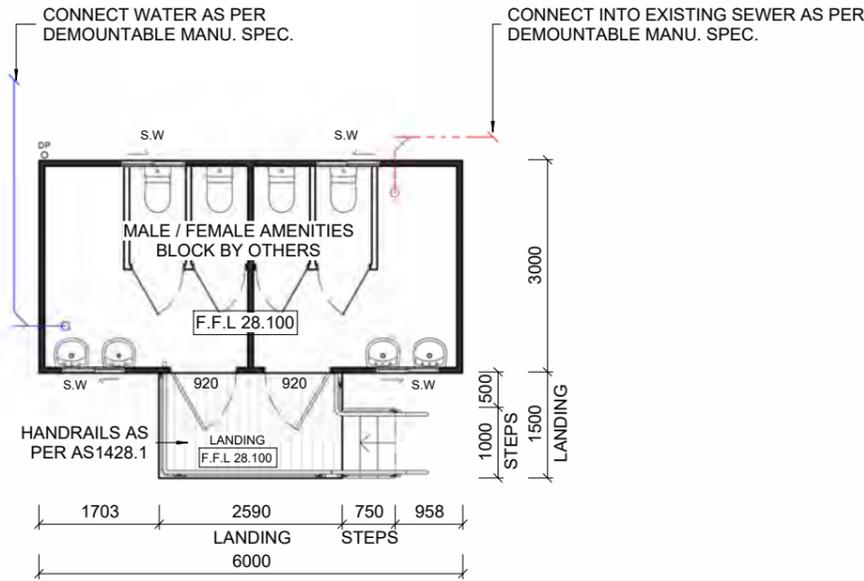
**DEMOUNTABLE AMENITIES NOTES:**

- REPLACE EXISTING SHIPPING CONTAINER - BUILDER TO CONFIRM ON SITE
- DEMOUNTABLE AMENITIES BY ATCO OR SIMILAR (6m x 3m), LAYOUT SHOWN INDICATIVE ONLY.
- STRUCTURAL FOOTINGS / SUPPORT TO ENG. SPEC.
- STAIR & LANDING FRAMING TO BUILDER'S SPEC.
- HYDRAULIC, SANITARY, STORMWATER AND ELECTRICAL CONNECTION AS PER DEMOUNTABLE MANU/ SPEC. BUILDER TO CONFIRM ON SITE.

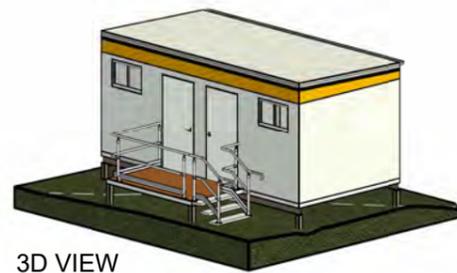
**LEGEND**

- A AWNING WINDOW
- B.D BI-FOLD DOORS
- C CASEMENT WINDOW
- D.HU DOUBLE HUNG WINDOW
- F.G FIXED GLASS WINDOW
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- S.W SLIDING WINDOW

- FLOOR WASTE
- ⊗ GAS BOTTLES
- ⊕ HOSE COCK
- ⊗ HOT WATER
- ▬ ELEC M/BOX
- 🔊 SMOKE ALARM



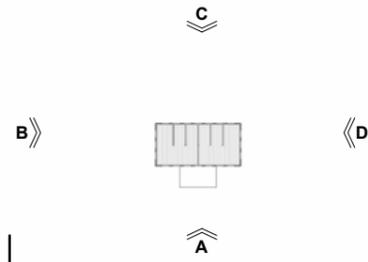
**S2 AMENITIES FLOOR PLAN**



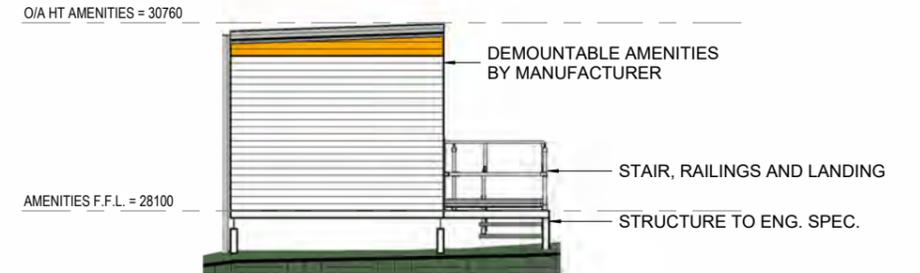
**3D VIEW**



**3D VIEW**



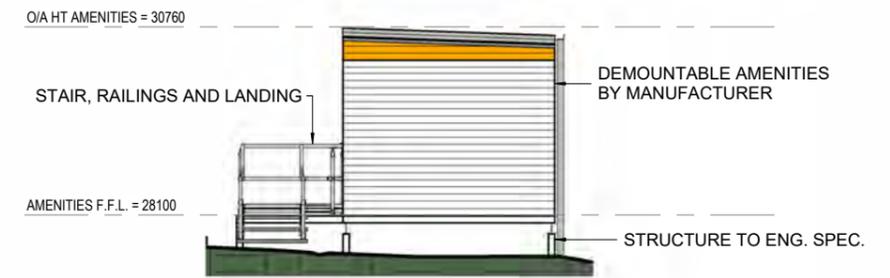
**ELEVATION A**



**ELEVATION B**



**ELEVATION C**



**ELEVATION D**



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1:100

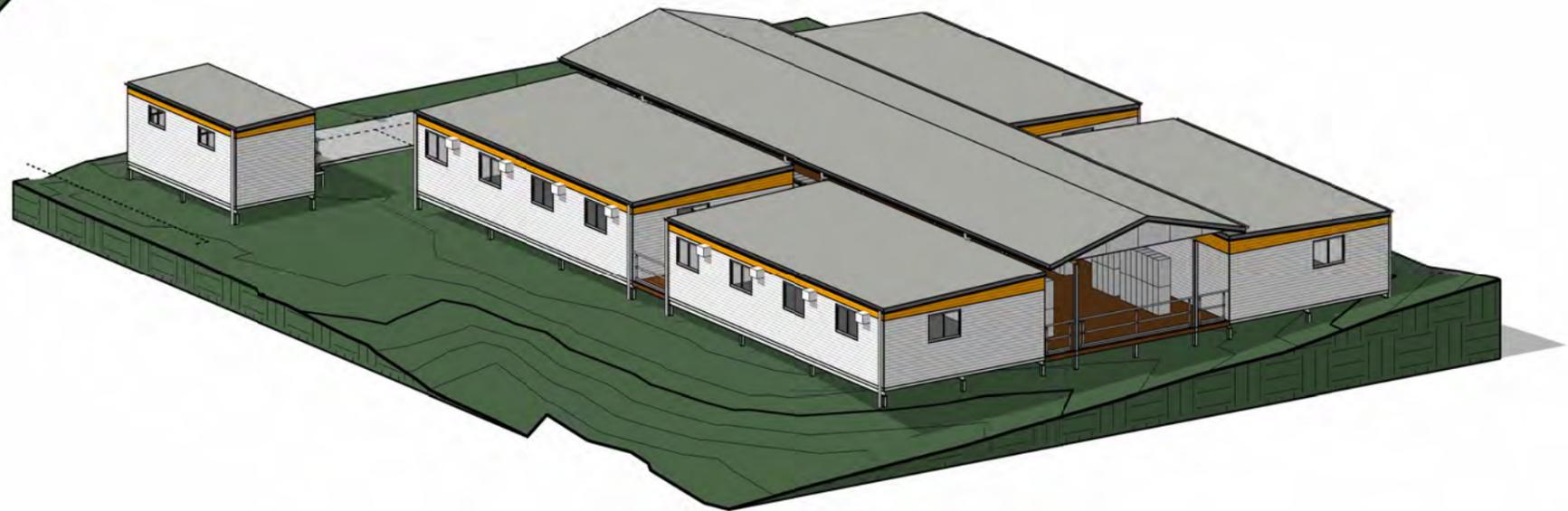
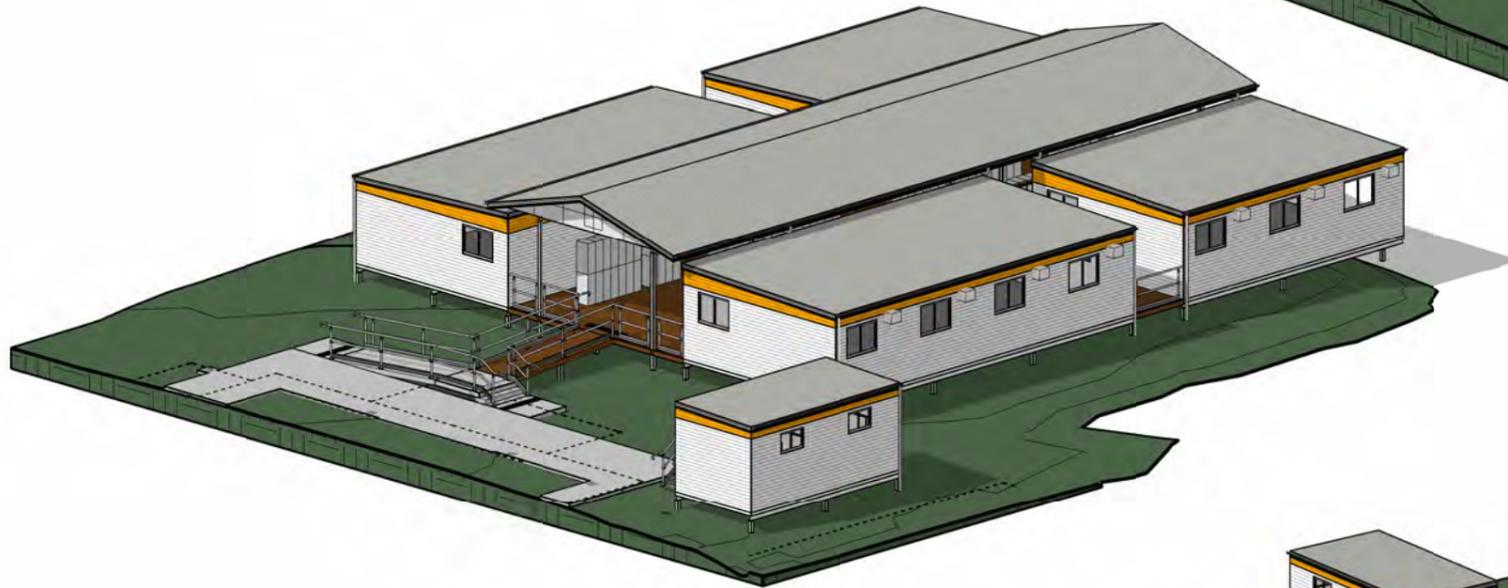
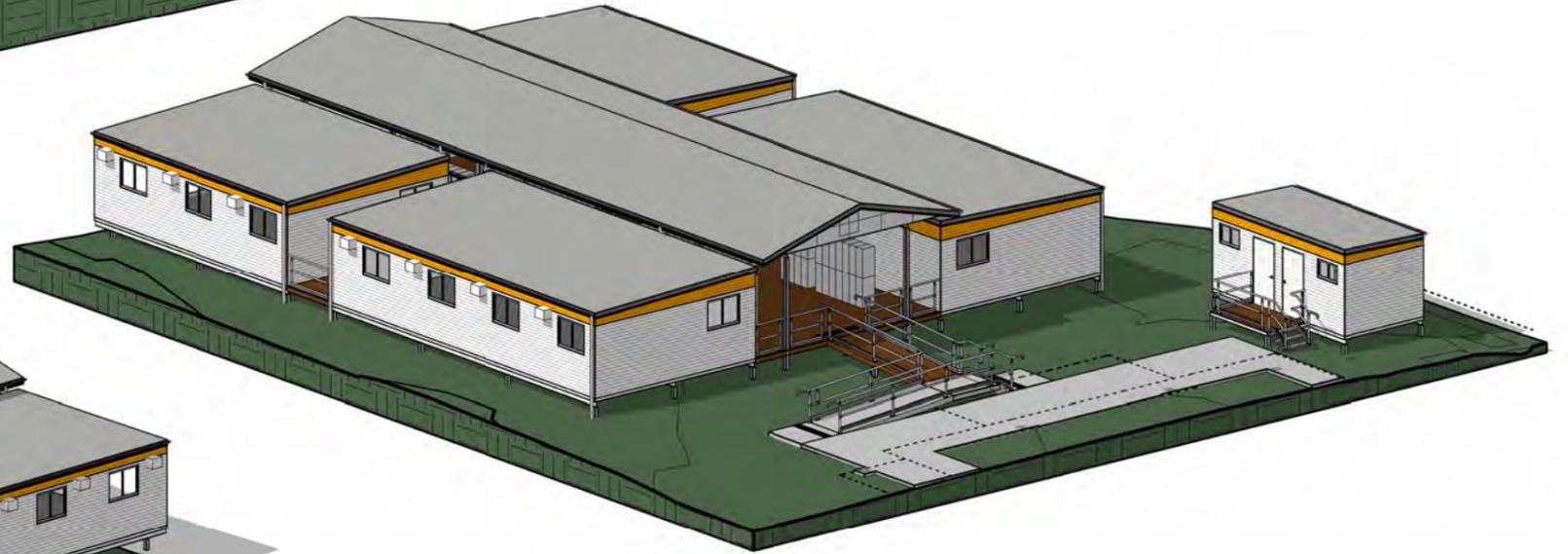
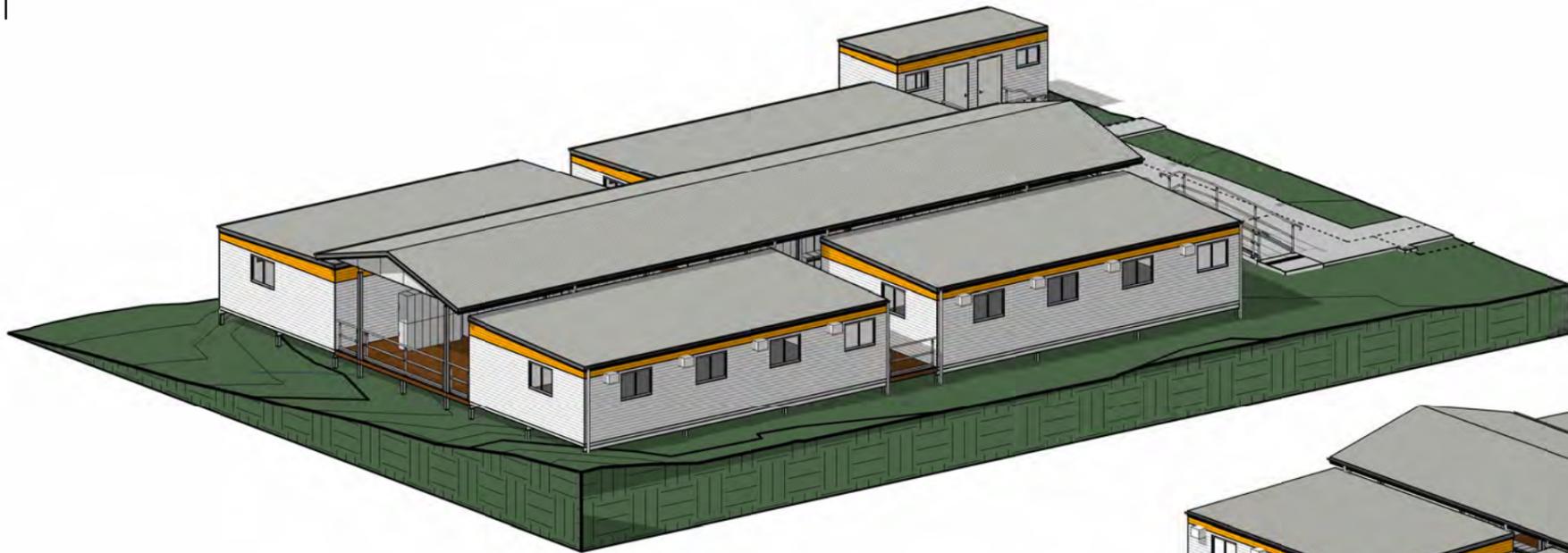
REV	DESCRIPTION	DRAWN	DATE
A	CONSTRUCTION REVIEW	KF	25/02/25
B	CONSTRUCTION REVIEW	KF	08/04/25

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BUILDERS NUMBER:  
N/A

DRAWING NAME:  
**SCOPE B AMENITIES PLAN &  
ELEVATIONS**



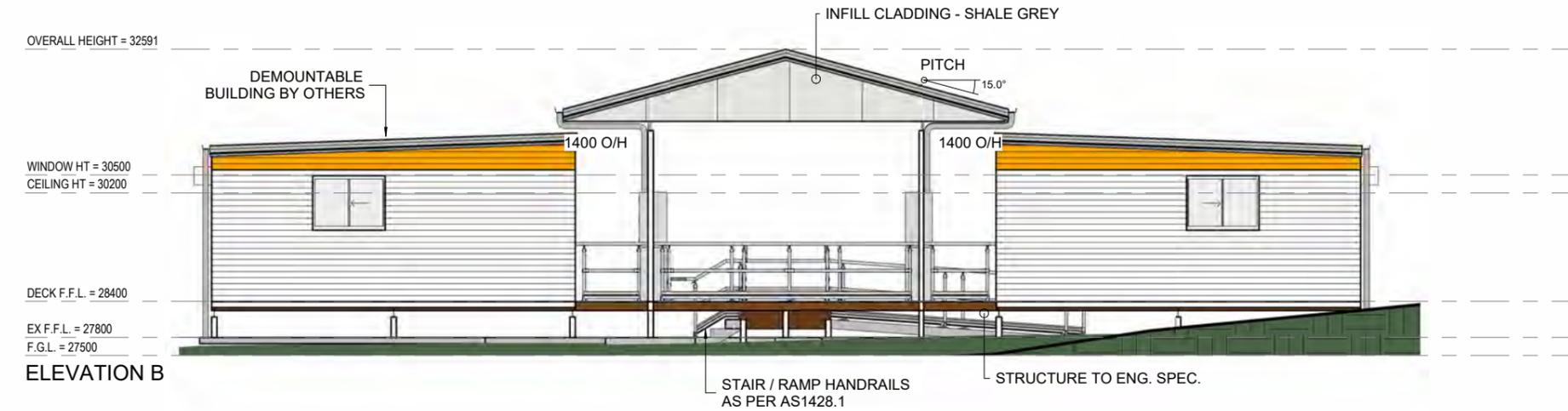
REV	DESCRIPTION	DRAWN	DATE
A	CONSTRUCTION REVIEW	KF	25/02/25
B	CONSTRUCTION REVIEW	KF	08/04/25

**NOTE - COLOURS:**  
 • COLORBOND ROOF - SHALE GREY  
 • FASCIA & GUTTERS - SHALE GREY  
 • DOWNPIPES - MATCH WALL / COLUMN

**NOTE - COLOURS QLD:**  
 ROOF COLOUR SOLAR ABSORPTANCE TO NOT EXCEED 0.43



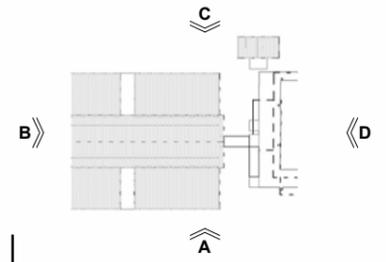
ELEVATION A



ELEVATION B

**COLORBOND (STANDARD) SOLAR ABSORPTANCE RATES**

COLOUR	SOLAR ABSORPTANCE	SOLAR REFLECTIVE INDEX
DOVER WHITE	0.28	88
SURFMIST	0.33	81
EVENING HAZE	0.43	67
CLASSIC CREAM	0.33	81
PAPERBARK	0.43	67
DUNE	0.48	60
SOUTHERLY	0.40	71
SHALE GREY	0.44	66
BLUEGUM	0.57	48
WINDSPRAY	0.60	44
GULLY	0.64	39
JASPER	0.67	35
WALLABY	0.64	39
BASALT	0.67	35
WOODLAND GREY	0.70	31
MONUMENT	0.73	27
NIGHT SKY	0.95	01
IRONSTONE	0.73	27
DEEP OCEAN	0.74	25
COTTAGE GREEN	0.73	27
PALE EUCALYPT	0.60	44
MANOR RED	0.70	31



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 ABN: 24 212 057 781  
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PROJECT PLAN NUMBER: #389  
 BUILDERS NUMBER: N/A

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**  
 DRAWING NAME:  
**SCOPE B ELEVATIONS A & B**

PROJECT:  
**SCHOOL RENOVATION FOR  
 FAITH BAPTIST CHRISTIAN SCHOOL AT  
 LOT 21 (#1315) DAWSON HWY  
 BURUA QLD 4680**

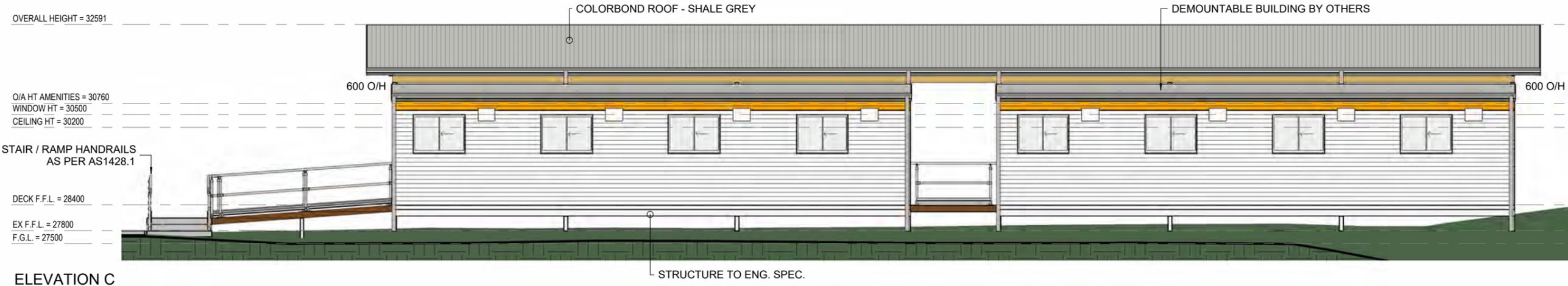
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REV	DESCRIPTION	DRAWN	DATE
A	CONSTRUCTION REVIEW	KF	25/02/25
B	CONSTRUCTION REVIEW	KF	08/04/25

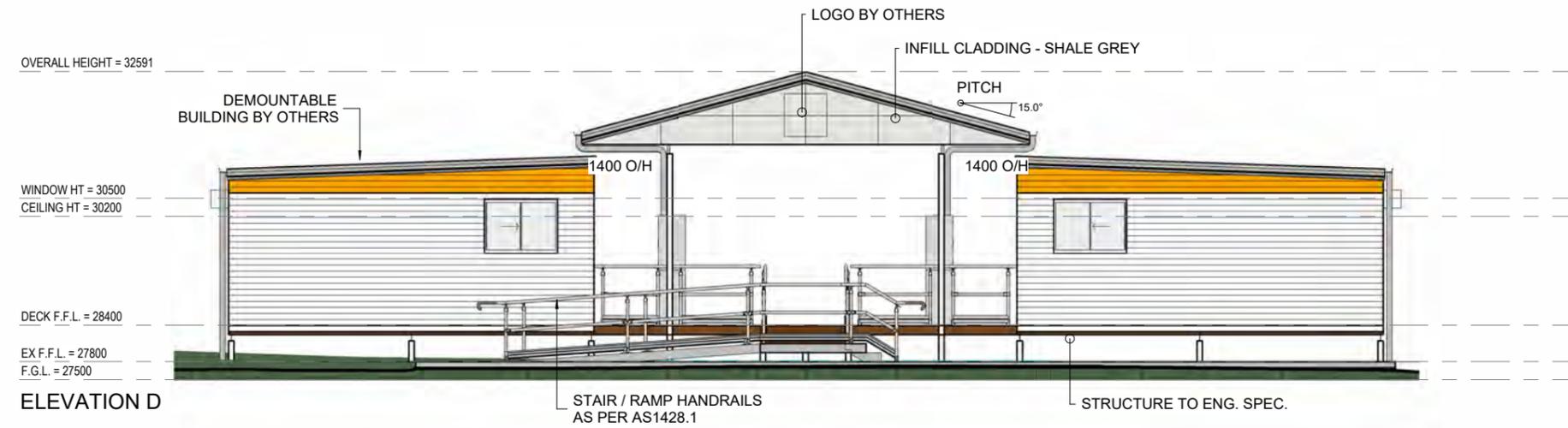
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- NOTE - COLOURS:**
- COLORBOND ROOF - SHALE GREY
  - FASCIA & GUTTERS - SHALE GREY
  - DOWNPIPES - MATCH WALL / COLUMN

**NOTE - COLOURS QLD:**  
 ROOF COLOUR SOLAR ABSORPTANCE TO NOT EXCEED 0.43



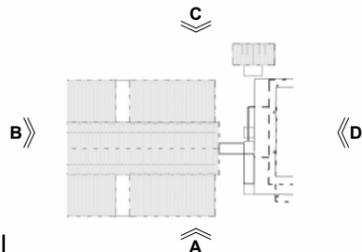
ELEVATION C



ELEVATION D

**COLORBOND (STANDARD) SOLAR ABSORPTANCE RATES**

COLOUR	SOLAR ABSORPTANCE	SOLAR REFLECTIVE INDEX
DOVER WHITE	0.28	88
SURFMIST	0.33	81
EVENING HAZE	0.43	67
CLASSIC CREAM	0.33	81
PAPERBARK	0.43	67
DUNE	0.48	60
SOUTHERLY	0.40	71
SHALE GREY	0.44	66
BLUEGUM	0.57	48
WINDSPRAY	0.60	44
GULLY	0.64	39
JASPER	0.67	35
WALLABY	0.64	39
BASALT	0.67	35
WOODLAND GREY	0.70	31
MONUMENT	0.73	27
NIGHT SKY	0.95	01
IRONSTONE	0.73	27
DEEP OCEAN	0.74	25
COTTAGE GREEN	0.73	27
PALE EUCALYPT	0.60	44
MANOR RED	0.70	31



CONTACT:  
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PROJECT PLAN NUMBER: #389  
 BUILDERS NUMBER: N/A

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

DRAWING NAME:  
**SCOPE B ELEVATIONS C & D**

PROJECT:  
**SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680**

CHECKED: BD  
 PAGE NO: 12 OF 22  
 SCALE @ A3 1:100

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**TIMBER FRAMES AND TRUSSES TO COMPLY WITH:**

- AS/NZS 1170.1 - 2002
- AS/NZS 1170.2 - 2021
- AS 1684.2 - 2021
- AS 1720.1 - 2010
- AS 1720.5 - 2015
- AS 4440 - 2004.

**NOTES**

- TERMITE MANAGEMENT SYSTEM TO AS 3660.1 AND/OR AS 3660.3.

OVERALL HEIGHT = 32591

O/A HT AMENITIES = 30760

WINDOW HT = 30500

CEILING HT = 30200

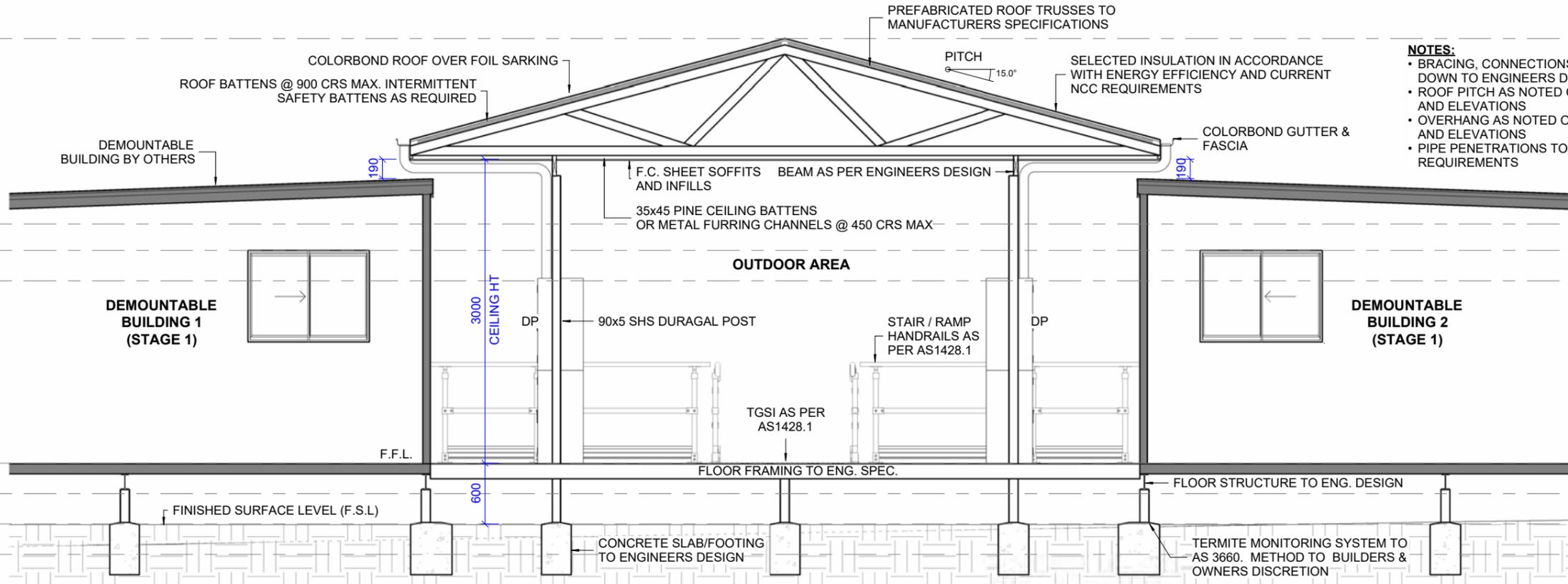
DECK F.F.L. = 28400

AMENITIES F.F.L. = 28100

EX F.F.L. = 27800

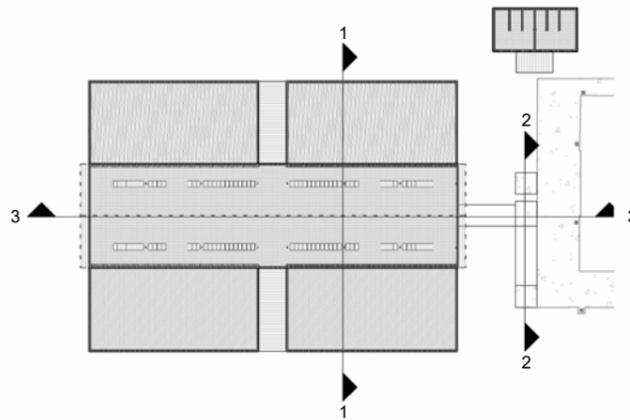
F.G.L. = 27500

1400 O/H      4600 SPAN      1400 O/H



**NOTES:**

- BRACING, CONNECTIONS AND TIE-DOWN TO ENGINEERS DESIGN
- ROOF PITCH AS NOTED ON PLANS AND ELEVATIONS
- OVERHANG AS NOTED ON PLANS AND ELEVATIONS
- PIPE PENETRATIONS TO NCC REQUIREMENTS



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QBCC LIC: 728975

PROJECT PLAN NUMBER: #389

BUILDERS NUMBER: N/A

CLIENT: FAITH BAPTIST CHRISTIAN SCHOOL

DRAWING NAME: SCOPE B CROSS SECTION 1

PROJECT: SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680

CHECKED: BD

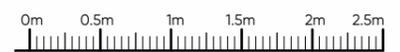
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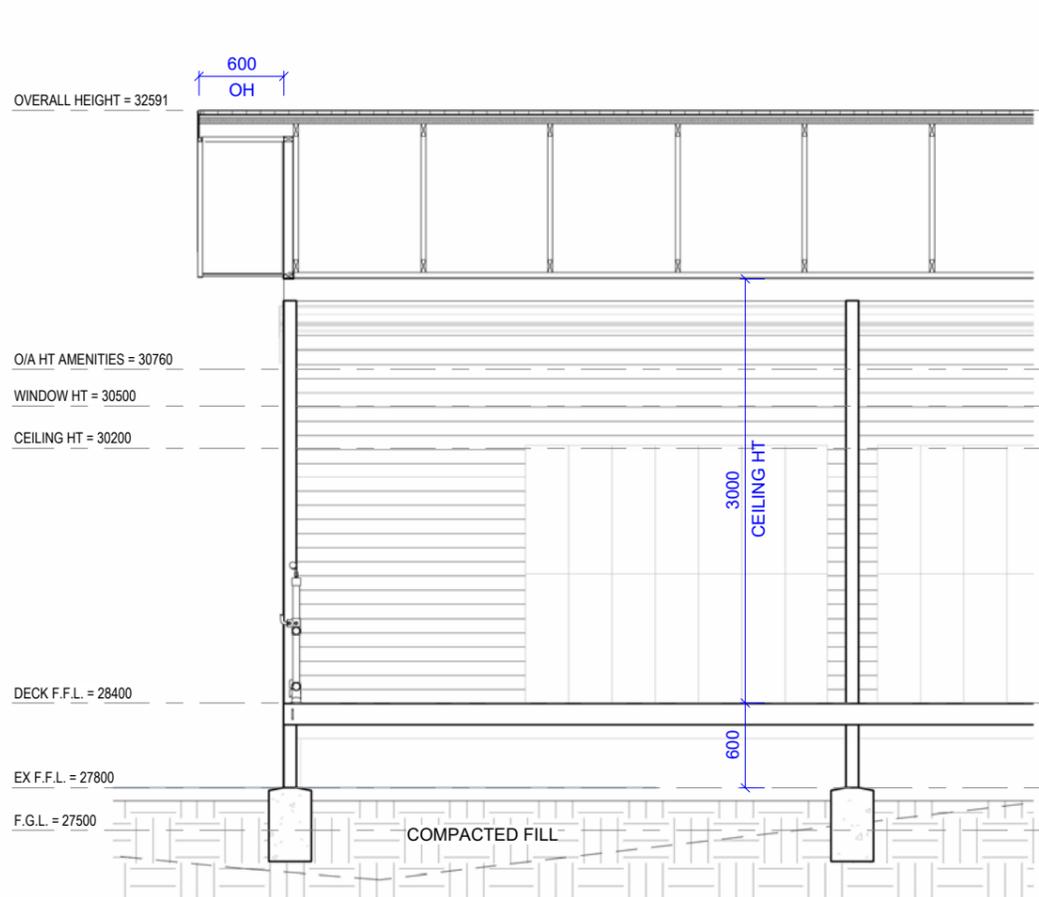
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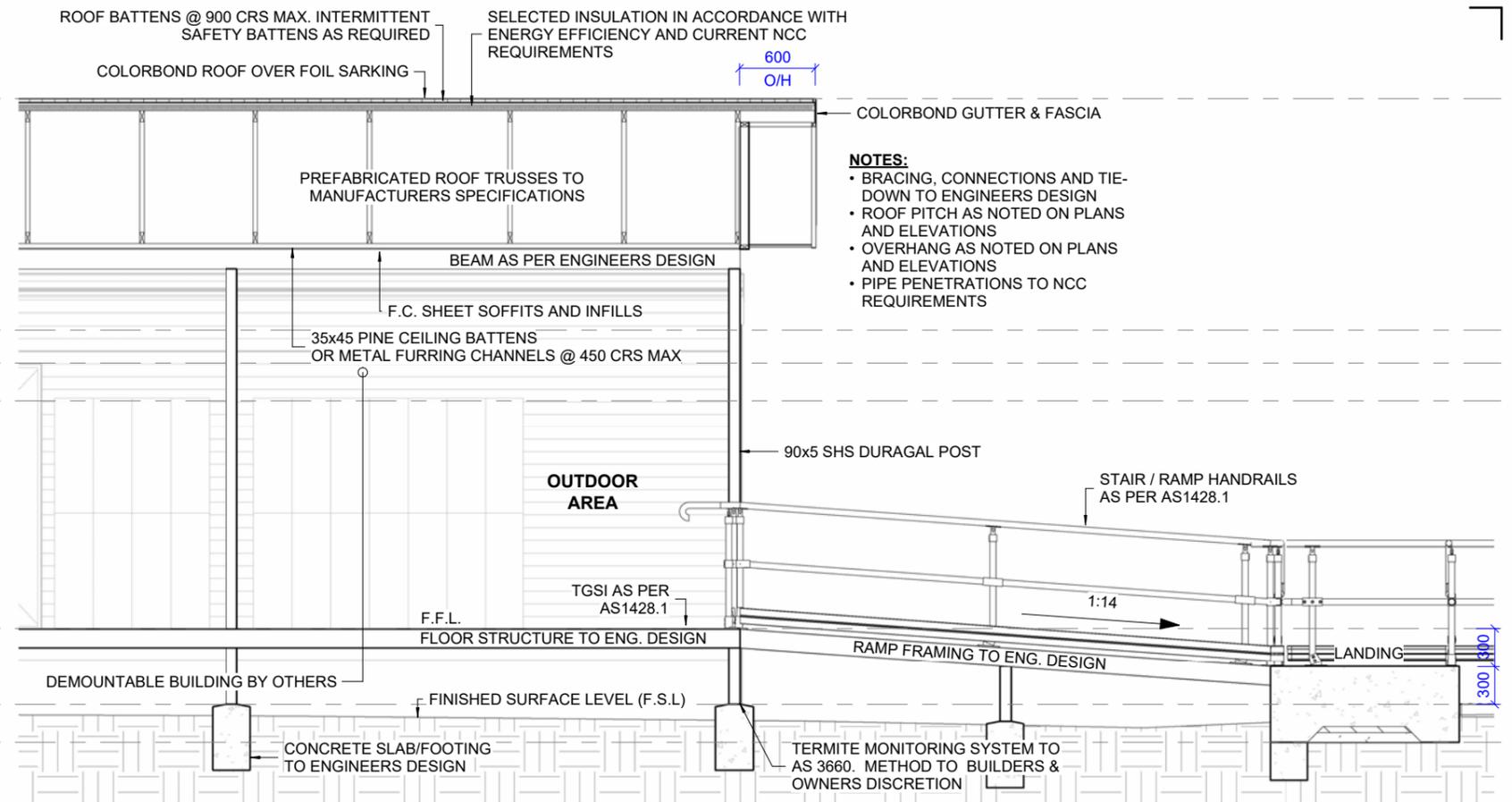
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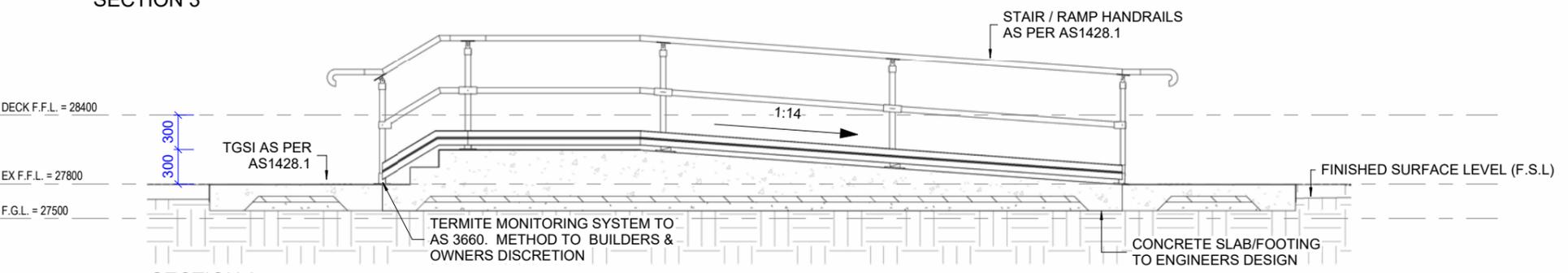




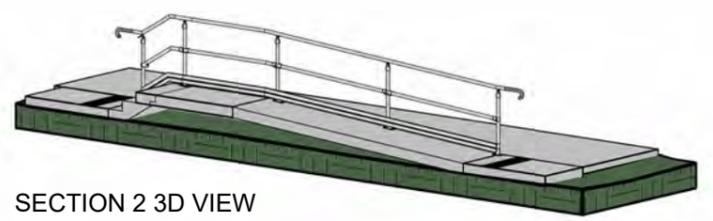
SECTION 3



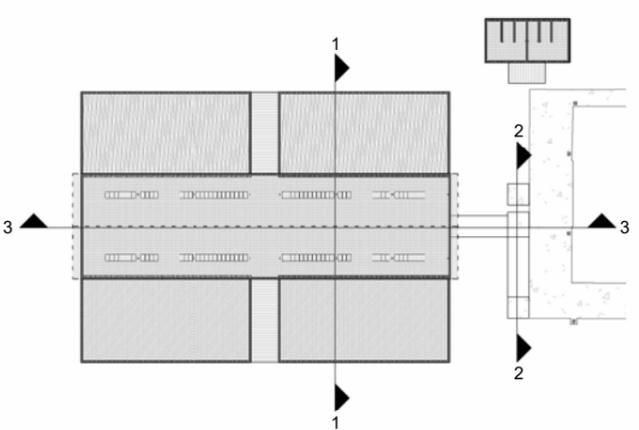
- NOTES:**
- BRACING, CONNECTIONS AND TIE-DOWN TO ENGINEERS DESIGN
  - ROOF PITCH AS NOTED ON PLANS AND ELEVATIONS
  - OVERHANG AS NOTED ON PLANS AND ELEVATIONS
  - PIPE PENETRATIONS TO NCC REQUIREMENTS



SECTION 2



SECTION 2 3D VIEW



- TIMBER FRAMES AND TRUSSES TO COMPLY WITH:**
- AS/NZS 1170.1 -2002
  - AS/NZS 1170.2 - 2021
  - AS 1684.2 - 2021
  - AS 1720.1 - 2010
  - AS 1720.5 - 2015
  - AS 4440 - 2004.

- NOTES**
- TERMITE MANAGEMENT SYSTEM TO AS 3660.1 AND/OR AS 3660.3.



SECTION 3 3D VIEW



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QBCC LIC: 728975

PROJECT PLAN NUMBER: #389

BUILDERS NUMBER: N/A

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

DRAWING NAME:  
**SCOPE B CROSS SECTION 2 & 3**

PROJECT:  
**SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680**

CHECKED: BD

PAGE NO: 14 OF 22

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**ELECTRICAL & FIXTURES LEGEND**

- LIGHTING**
- | SYMBOL | DESCRIPTION               |
|--------|---------------------------|
|        | DOWN LIGHT RECESSED       |
|        | FLUORO SINGLE 1200mm      |
|        | FLUORO DOUBLE 1200mm      |
|        | DOWN LIGHT RECESSED 200mm |
|        | PENDANT                   |
|        | OYSTER LED LIGHT          |
|        | TRACK LIGHT               |
|        | UP/DOWN LIGHT             |

- POWER & COMMS**
- | SYMBOL | DESCRIPTION           |
|--------|-----------------------|
|        | GPO SINGLE            |
|        | GPO DOUBLE            |
|        | GPO SINGLE WATERPROOF |
|        | GPO DOUBLE WATERPROOF |
|        | DISTRIBUTION BOX      |
|        | METER BOX             |

- FIXTURES**
- | SYMBOL | DESCRIPTION          |
|--------|----------------------|
|        | SMOKE ALARM          |
|        | AIR CON HEAD (SPLIT) |
|        | AIR CON UNIT (SPLIT) |
|        | HOSE COCK            |
|        | EXHAUST CEILING FAN  |
|        | CEILING FAN          |

CEILING MOUNTED EXIT SIGN - AS2293.1 COMPLIANT

ELECTRICAL LINE

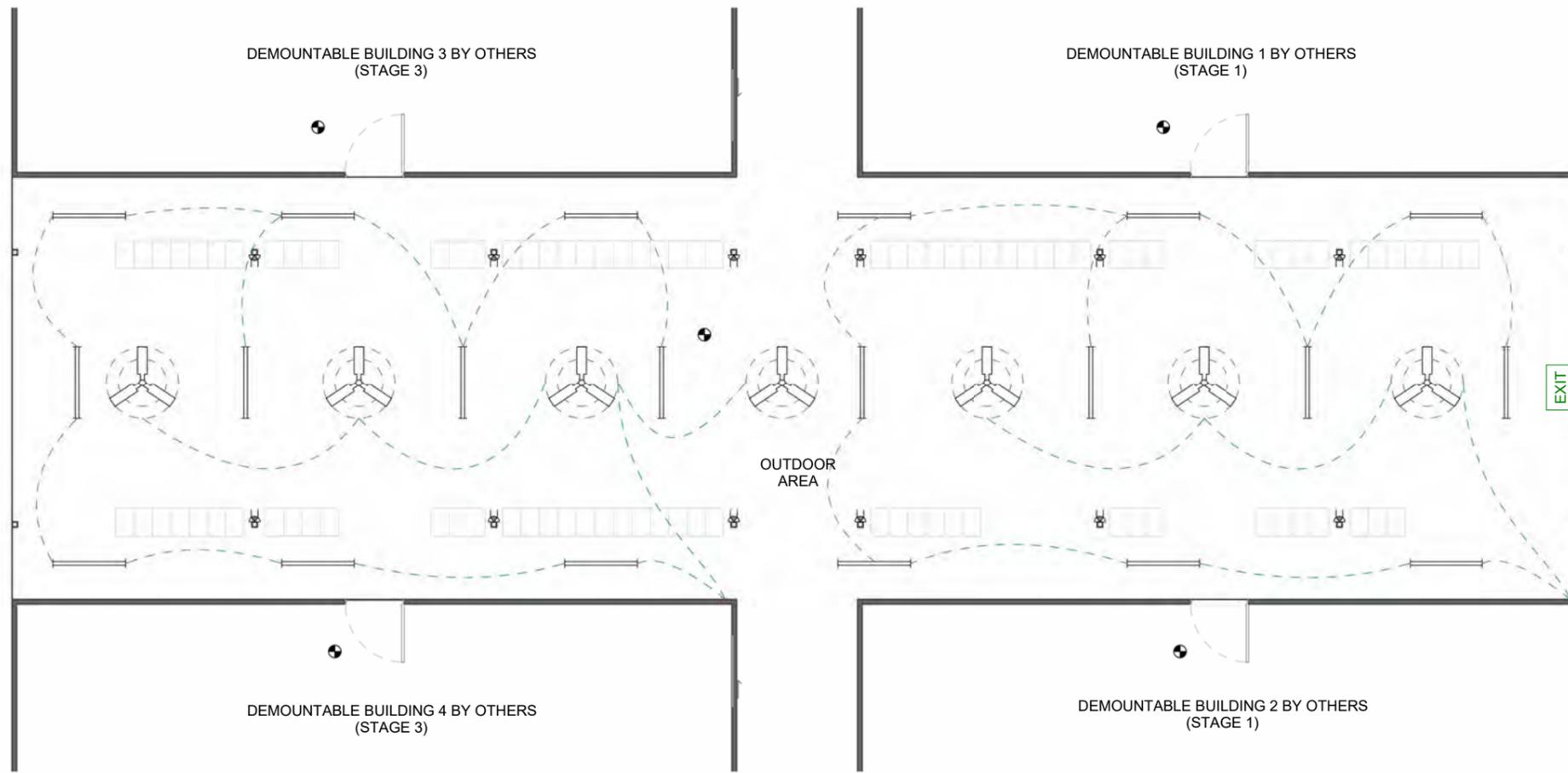
**POWER POINT HEIGHTS AFL**

LIGHT SWITCHES	1150mm	AFL
WALL MOUNTED LIGHTS	2000mm	AFL
POWER OUTLETS (STANDARD)	300mm	AFL

**LEGEND**

- |        |                    |
|--------|--------------------|
| A      | AWNING WINDOW      |
| B.D    | BI-FOLD DOORS      |
| C      | CASEMENT WINDOW    |
| D.HU   | DOUBLE HUNG WINDOW |
| F.G    | FIXED GLASS WINDOW |
| HL     | HIGHLIGHT          |
| LU     | LOUVRE WINDOW      |
| M.V    | MECHANICAL VENT    |
| SKL    | SKYLIGHT           |
| SL     | SIDELIGHT          |
| SL.G.D | SLIDING GLASS DOOR |
| S.W    | SLIDING WINDOW     |

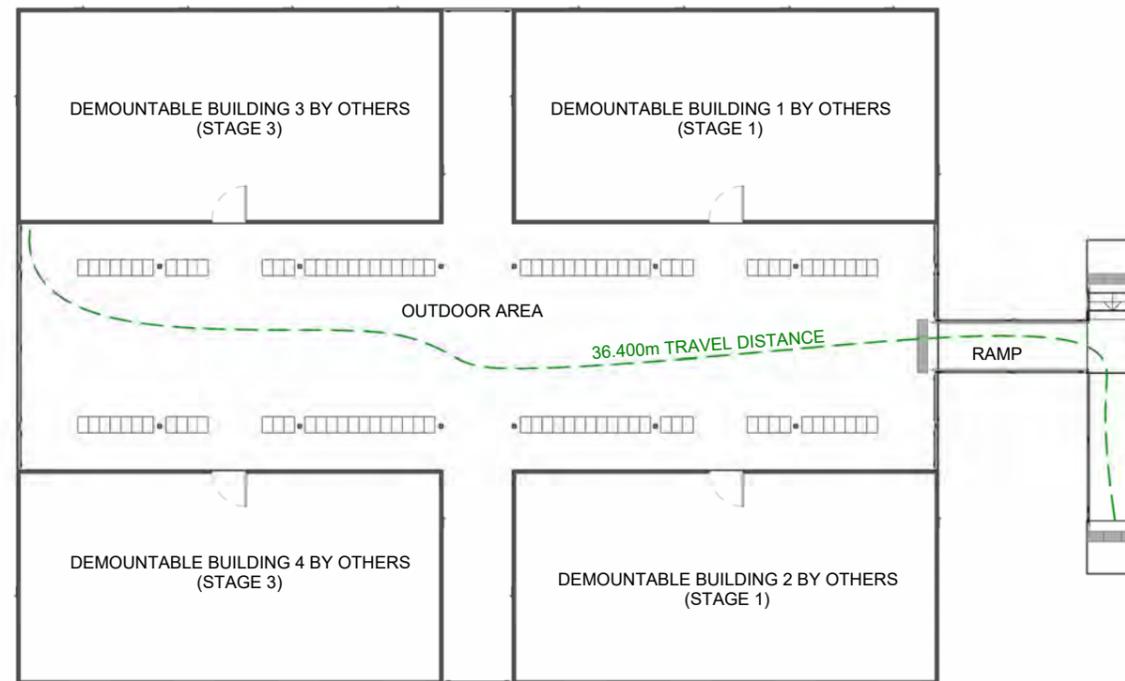
- |  |             |
|--|-------------|
|  | FLOOR WASTE |
|  | GAS BOTTLES |
|  | HOSE COCK   |
|  | HOT WATER   |
|  | ELEC M/BOX  |
|  | SMOKE ALARM |



**ELECTRICAL PLAN**  
1:100

**DEMOUNTABLE NOTES:**

- ELECTRICAL CONNECTION AS PER DEMOUNTABLE MANU/ SPEC. BUILDER TO CONFIRM ON SITE.



**EXIT DISTANCE**  
1:200



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PROJECT PLAN NUMBER:  
#389

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

PROJECT:  
**SCHOOL RENOVATION FOR  
FAITH BAPTIST CHRISTIAN SCHOOL AT  
LOT 21 (#1315) DAWSON HWY  
BURUA QLD 4680**

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PAGE NO:  
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BUILDERS NUMBER:  
N/A

DRAWING NAME:  
**SCOPE B ELECTRICAL & FIXTURES  
PLAN**

ABN: 24 212 057 781  
QBCC LIC: 728975

**SANITARY PLUMBING & DRAINAGE :**

- GENERAL**
- ALL SANITARY DRAINAGE SHALL BE 100Ø AND SHALL BE LAID AT 1:60 GRADE MIN
  - ALL INSPECTION OPENINGS UNDER CONCRETE ARE TO BE TAKEN TO SURFACE LEVEL. UNO. WHERE SUBJECT TO VEHICULAR TRAFFIC, ALL INSPECTION OPENINGS SHALL BE FINISHED WITH A BRASS CLEAR OUT COVER SUITED FOR ANTICIPATED LOADS
  - ALL FLOOR WASTE GULLIES SHALL HAVE SCREWED REMOVABLE GRATES, ALL FLOOR WASTE GULLIES AT GROUND LEVEL SHALL BE UNO. 100

**MATERIALS**

- DRAINAGE: UPVC CLASS DWV TO AS/NZS 1260. SANITARY PLUMBING: UPVC CLASS DWV TO AS/NZS 1260 SOLVENT WELDED JOINTS
- FIXTURE DISCHARGE PIPE SIZES UNO
  - BASIN = Ø 50mm TRAP AND WASTE PIPE
  - SINK = Ø 50mm TRAP AND WASTE PIPE
  - WC = Ø 100mm WASTE PIPE
  - TD = Ø 50mm WASTE PIPE (AND TRAP IF CONNECTED DIRECT TO WASTE)
  - SHR = Ø 50mm WASTE PIPE (AND TRAP IF CONNECTED DIRECT TO WASTE)

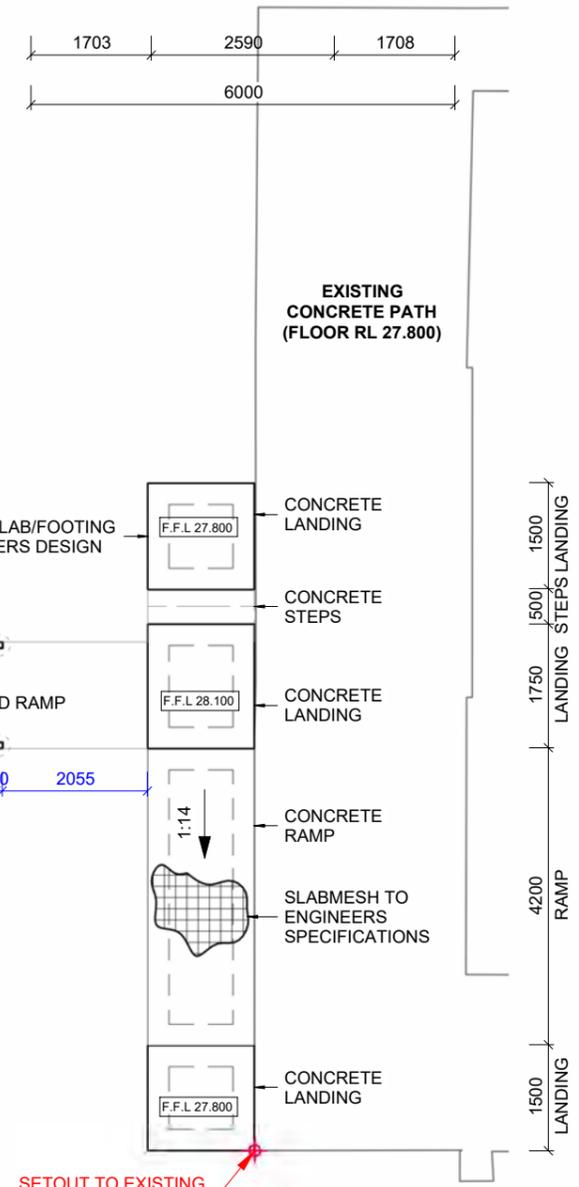
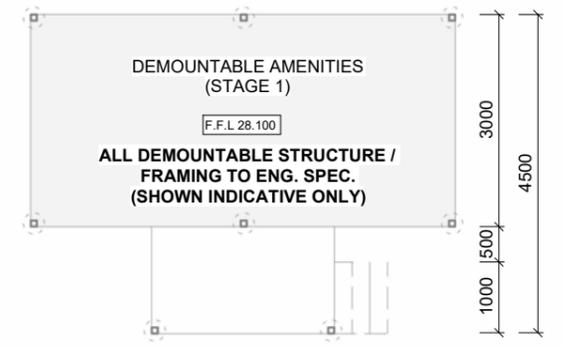
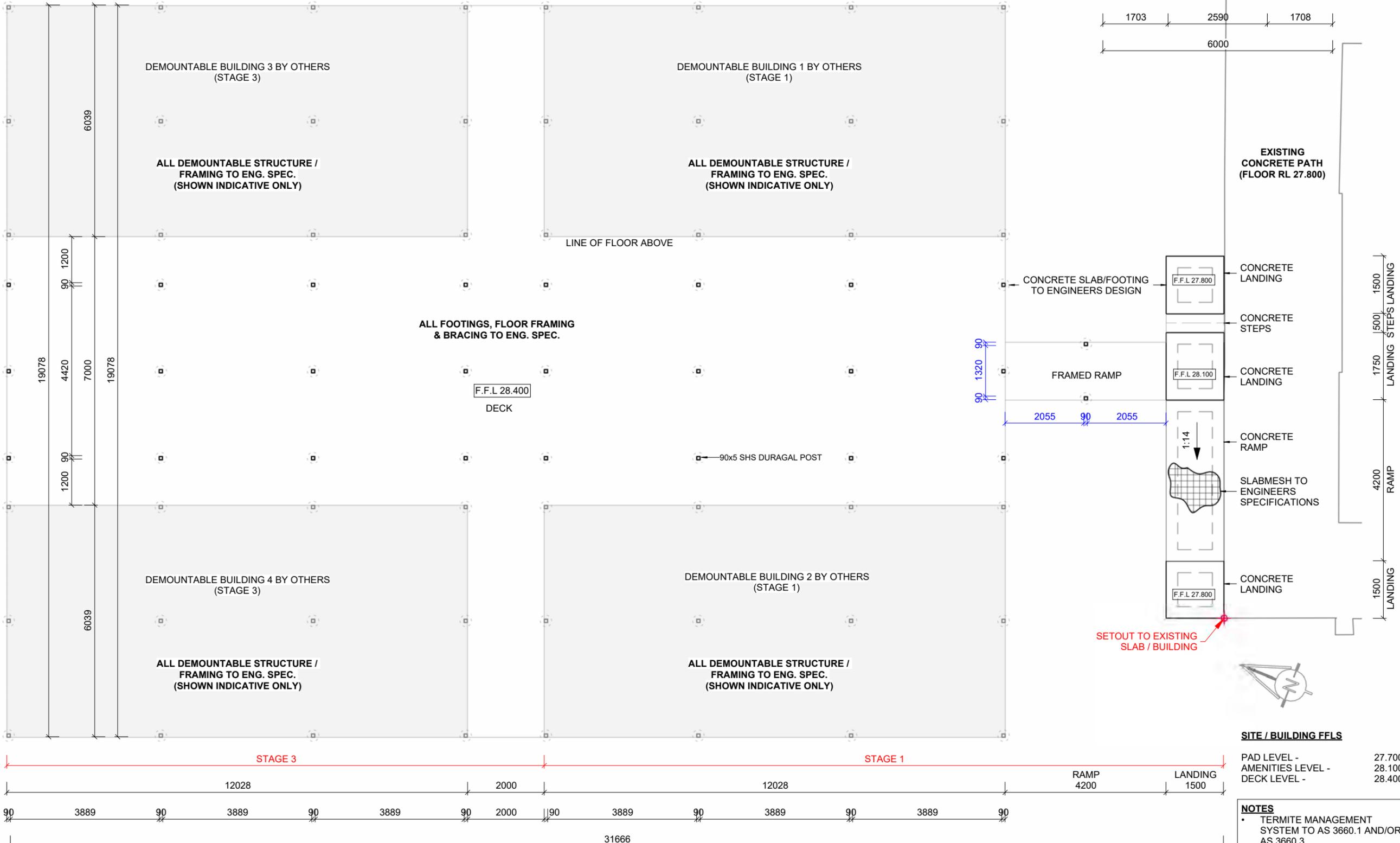
**FIXTURES & FITTINGS**

- ALL FIXTURES, FITTINGS AND ASSOCIATED MATERIALS AND INSTALLATION COSTS REQUIRED FOR INSTALLATION AND CORRECT OPERATION SHALL BE SUPPLIED BY THE CONTRACTOR

PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE A MINIMUM OF 150mm BELOW FINISHED FLOOR LEVEL.

**DRAINAGE:**

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY.
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE 20Ø K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY.
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR.
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NATIONAL CONSTRUCTION CODE TABLE 3.1.1.1
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3.
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 2011 SECTION 5.6.4 FOR ALL CLASS H & E SITES. REFER GEOTECH FOR YS



**SITE / BUILDING FFLS**

PAD LEVEL -	27.700
AMENITIES LEVEL -	28.100
DECK LEVEL -	28.400

**NOTES**

- TERMITE MANAGEMENT SYSTEM TO AS 3660.1 AND/OR AS 3660.3.

REV	DESCRIPTION	DRAWN	DATE
A	CONSTRUCTION REVIEW	KF	25/02/25
B	CONSTRUCTION REVIEW	KF	08/04/25

**DRAWING NAME:** SCOPE B FOUNDATION PLAN  
**CLIENT:** FAITH BAPTIST CHRISTIAN SCHOOL  
**PROJECT PLAN NUMBER:** #389  
**CHECKED:** BD  
**PAGE NO.:** 16 OF 22  
**BUILDERS NUMBER:** N/A  
**SCALE @ A3:** 1:100

**PROJECT:** SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680

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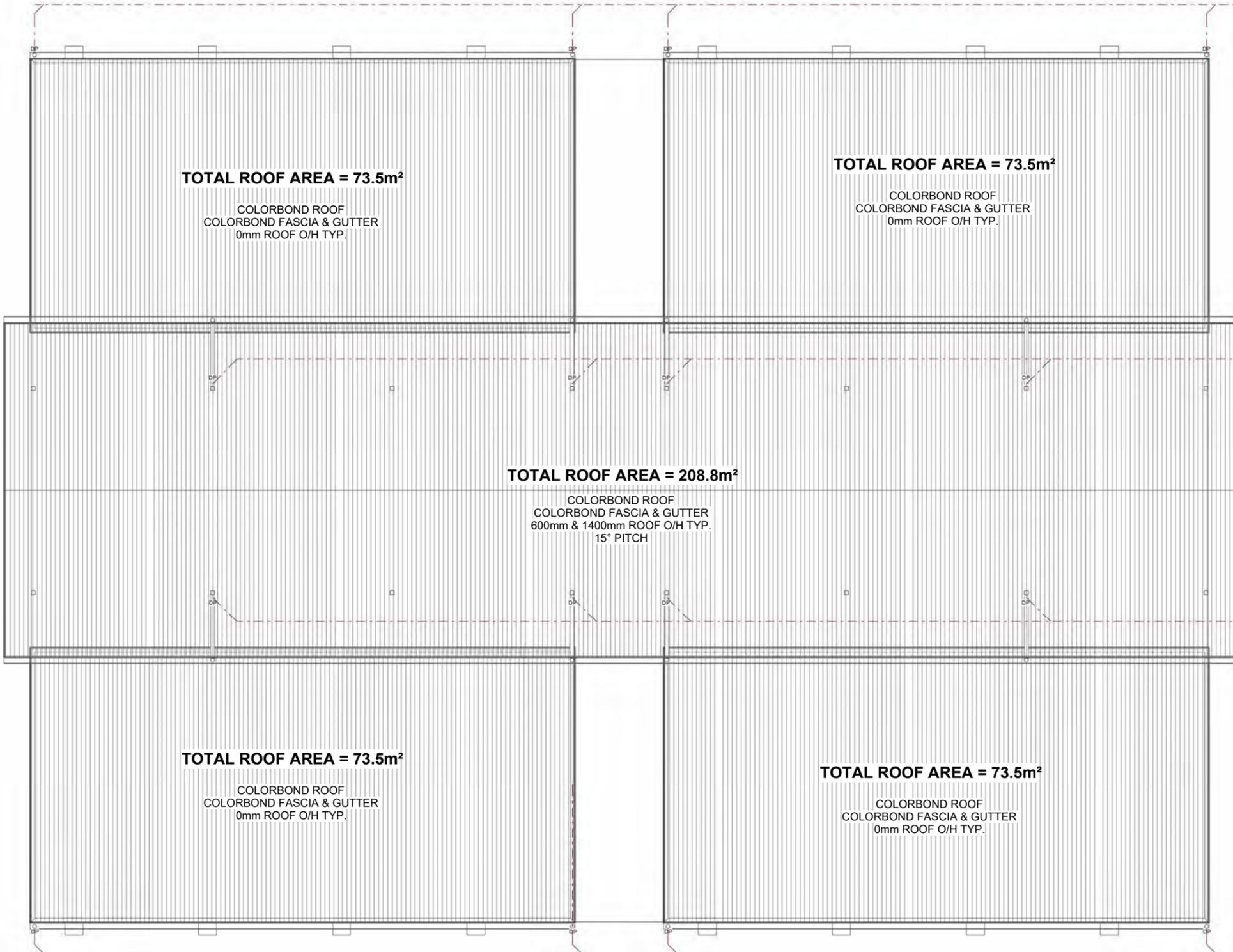
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**TOTAL ROOF AREA = 275.3 m<sup>2</sup>**  
 ROOF TYPE: COLORBOND  
 FASCIA & GUTTER TYPE: COLORBOND  
 EAVES (TYP. O/H): 450mm  
 ROOF PITCH: 22.5°

**DOWNPIPES (DP):**  
 DP MAX. LINEAL SPACING: 12 m  
 RAINFALL INTENSITY LOCATION: QLD - ROCKHAMPTON  
 ARI ONCE IN 20 YEARS mm/hr: 229 mm  
 MIN. DP DIAMETER (Ø): 90 mm  
 MIN. GUTTER CROSS SECTION: 6500 mm<sup>2</sup>  
 MAX. ROOF AREA PER DP: 30 m<sup>2</sup>

**TOTAL ROOF AREA = 18.0m<sup>2</sup>**  
 COLORBOND ROOF  
 COLORBOND FASCIA & GUTTER  
 0mm ROOF O/H TYP.



CONNECT TO LPOD

**DRAINAGE**

1. DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY.
2. STORMWATER PIPES TO BE UPVC CLASS HD
3. SEWER PIPES TO BE UPVC CLASS SH
4. PROVIDE 20Ø K2 POLYETHYLENE WATER RETICULATION
5. TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY.
6. BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR.
7. PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE A MINIMUM OF 150MM BELOW FINISHED FLOOR LEVEL.
8. CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NATIONAL CONSTRUCTION CODE TABLE 3.1.1.1
9. PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3.
10. PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 2011 SECTION 5.6.4 FOR ALL CLASS H & E SITES. REFER GEOTECH FOR YS

**SANITARY PLUMBING & DRAINAGE -**

- GENERAL**
- ALL SANITARY DRAINAGE SHALL BE 100Ø AND SHALL BE LAID AT 1:60 GRADE MIN
  - ALL INSPECTION OPENINGS UNDER CONCRETE ARE TO BE TAKEN TO SURFACE LEVEL. UNO. WHERE SUBJECT TO VEHICULAR TRAFFIC, ALL INSPECTION OPENINGS SHALL BE FINISHED WITH A BRASS CLEAR OUT COVER SUITED FOR ANTICIPATED LOADS
  - ALL FLOOR WASTE GULLIES SHALL HAVE SCREWED REMOVABLE GRATES, ALL FLOOR WASTE GULLIES AT GROUND LEVEL SHALL BE UNO. 100

- MATERIALS**
- DRAINAGE: UPVC CLASS DWV TO AS/NZS 1260. SANITARY PLUMBING: UPVC CLASS DWV TO AS/NZS 1260 SOLVENT WELDED JOINTS
  - FIXTURE DISCHARGE PIPE SIZES UNO  
 BASIN = Ø 50mm TRAP AND WASTE PIPE  
 SINK = Ø 50mm TRAP AND WASTE PIPE  
 WC = Ø 100mm WASTE PIPE  
 TD = Ø 50mm WASTE PIPE (AND TRAP IF CONNECTED DIRECT TO WASTE)  
 SHR = Ø 50mm WASTE PIPE (AND TRAP IF CONNECTED DIRECT TO WASTE)

- FIXTURES & FITTINGS**
- ALL FIXTURES, FITTINGS AND ASSOCIATED MATERIALS AND INSTALLATION COSTS REQUIRED FOR INSTALLATION AND CORRECT OPERATION SHALL BE SUPPLIED BY THE CONTRACTOR

PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE A MINIMUM OF 150mm BELOW FINISHED FLOOR LEVEL.

MAXIMUM ROOF AREA (m <sup>2</sup> )	PIPE SIZE (UPVC)	MIN GRADE	MIN FALL (mm / m)
90	100	1:100	10
120	100	1:67	15
150	100	1:50	20
240	150	1:125	8
240	2/100	1:80	12.5



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 ABN: 24 212 057 781  
 QBCC LIC: 728975

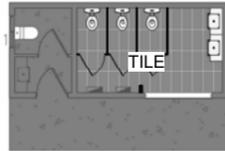
PROJECT PLAN NUMBER: #389  
 CLIENT: FAITH BAPTIST CHRISTIAN SCHOOL  
 BUILDERS NUMBER: N/A  
 DRAWING NAME: SCOPE B ROOF DRAINAGE

PROJECT: SCHOOL RENOVATION FOR FAITH BAPTIST CHRISTIAN SCHOOL AT LOT 21 (#1315) DAWSON HWY BURUA QLD 4680

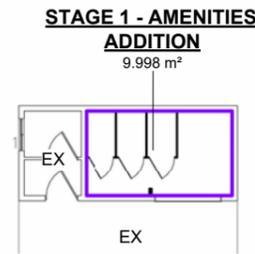
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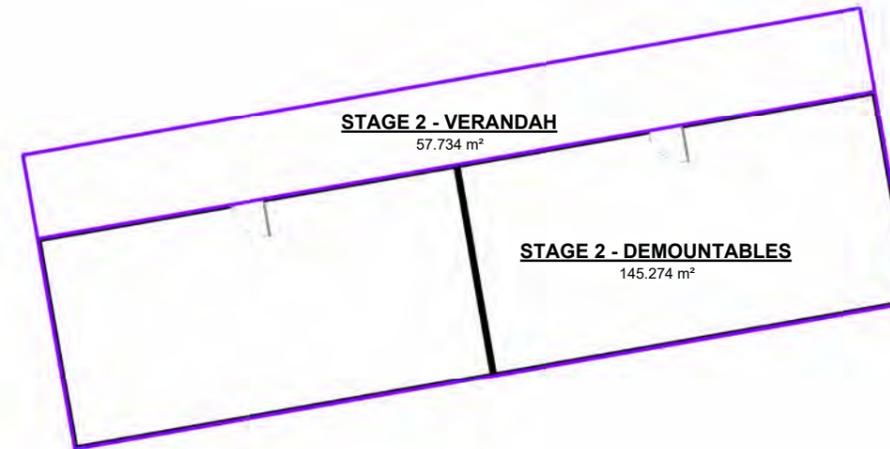
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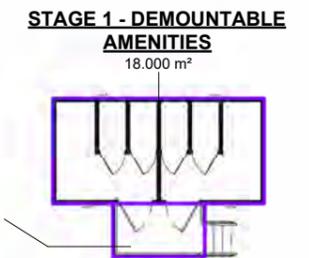
AMENITIES ADDITION FLOOR FINISES



AMENITIES ADDITION FLOOR AREAS

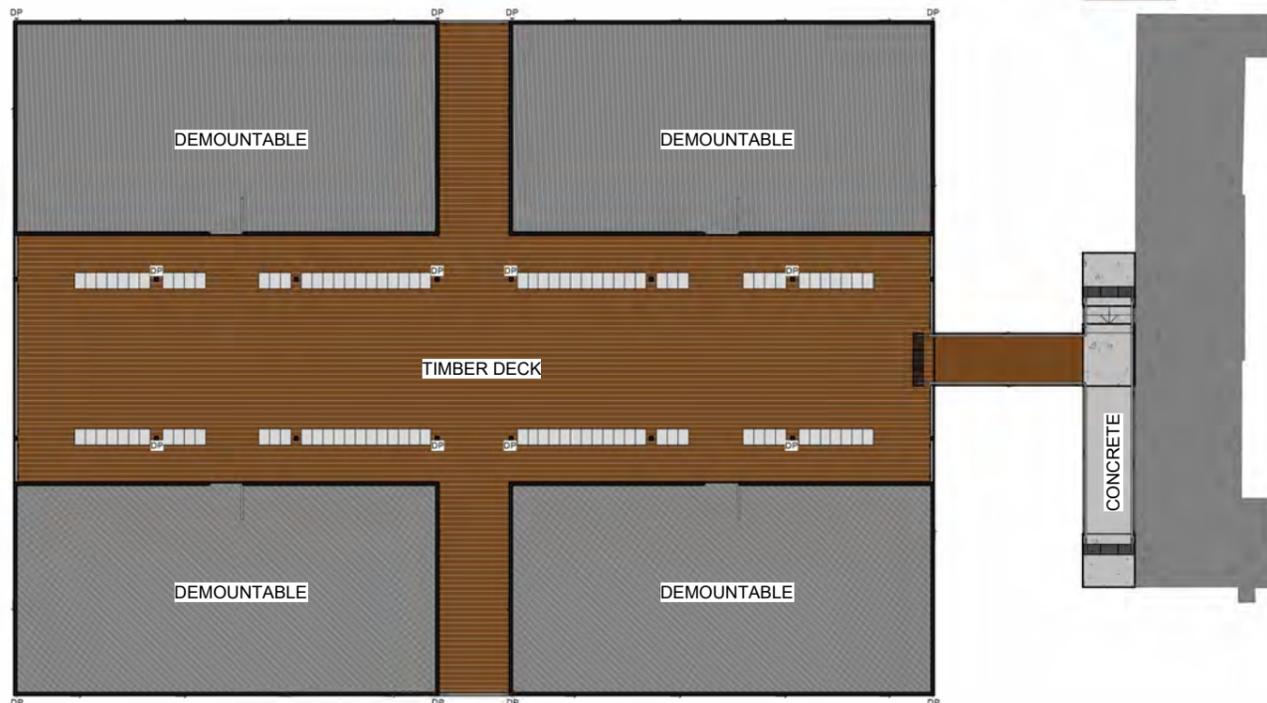


STAGE 2 DEMOUNTABLES

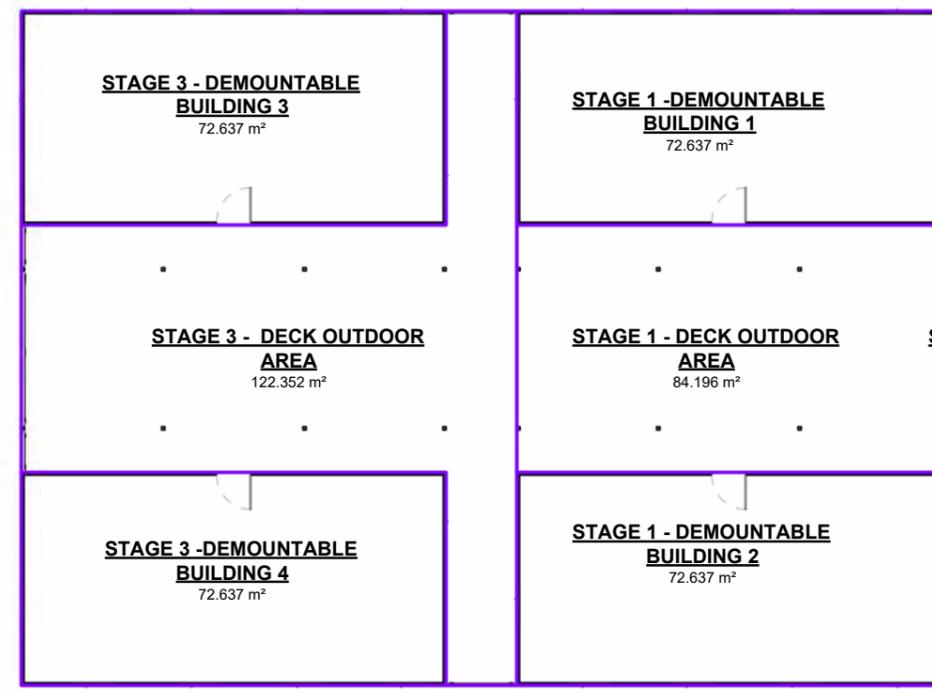


STAGE 1 - DEMOUNTABLE AMENITIES

STAGE 1 - DEM. AMENITIES LANDING  
3.885 m²



FLOOR FINISHES



FLOOR AREAS

STAGE 1 - DECK RAMP / LANDING  
20.475 m²

FLOOR AREAS

STAGE 1 - AMENITIES ADDITION	10.0 m²
STAGE 1 - DECK OUTDOOR AREA	84.2 m²
STAGE 1 - DECK RAMP / LANDING	20.5 m²
STAGE 1 - DEM. AMENITIES LANDING	3.9 m²
STAGE 1 - DEMOUNTABLE AMENITIES	18.0 m²
STAGE 1 - DEMOUNTABLE BUILDING 2	72.6 m²
STAGE 1 - DEMOUNTABLE BUILDING 1	72.6 m²
STAGE 2 - DEMOUNTABLES	145.3 m²
STAGE 2 - VERANDAH	57.7 m²
STAGE 3 - DECK OUTDOOR AREA	122.4 m²
STAGE 3 - DEMOUNTABLE BUILDING 3	72.6 m²
STAGE 3 - DEMOUNTABLE BUILDING 4	72.6 m²
TOTAL	752.5 m²



CONTACT:  
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0419 786 578  
ben@bkdevelopments.com.au

PROJECT PLAN NUMBER:  
#389

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

PROJECT:  
**SCHOOL RENOVATION FOR  
FAITH BAPTIST CHRISTIAN SCHOOL AT  
LOT 21 (#1315) DAWSON HWY  
BURUA QLD 4680**

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BD

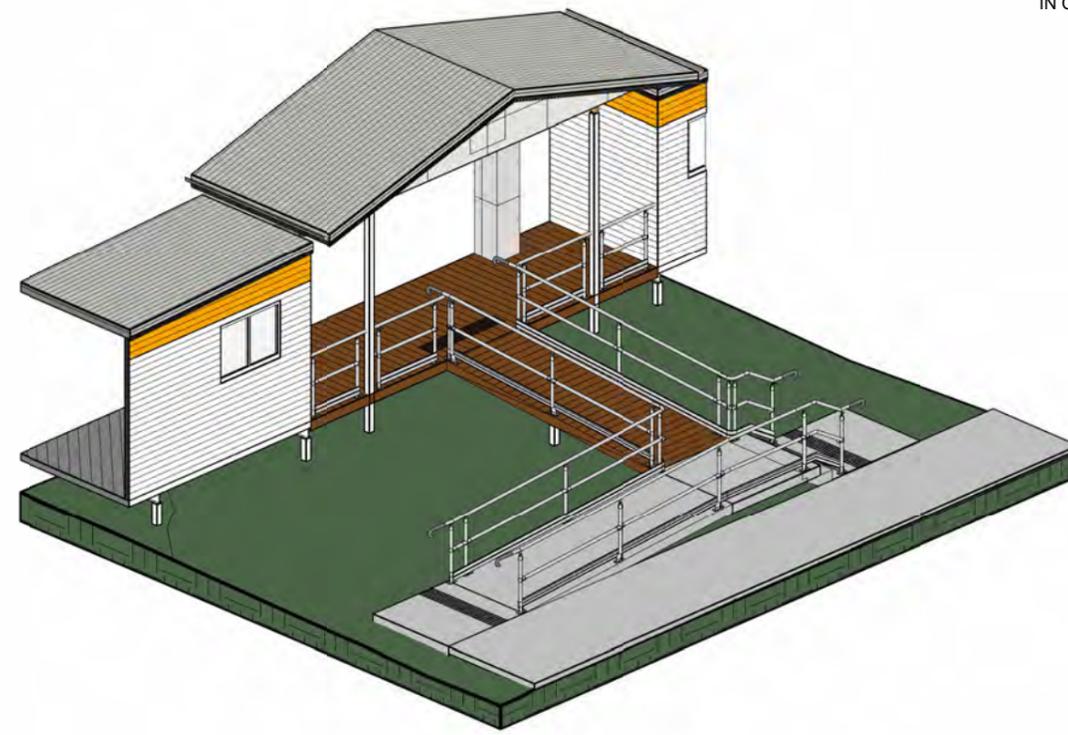
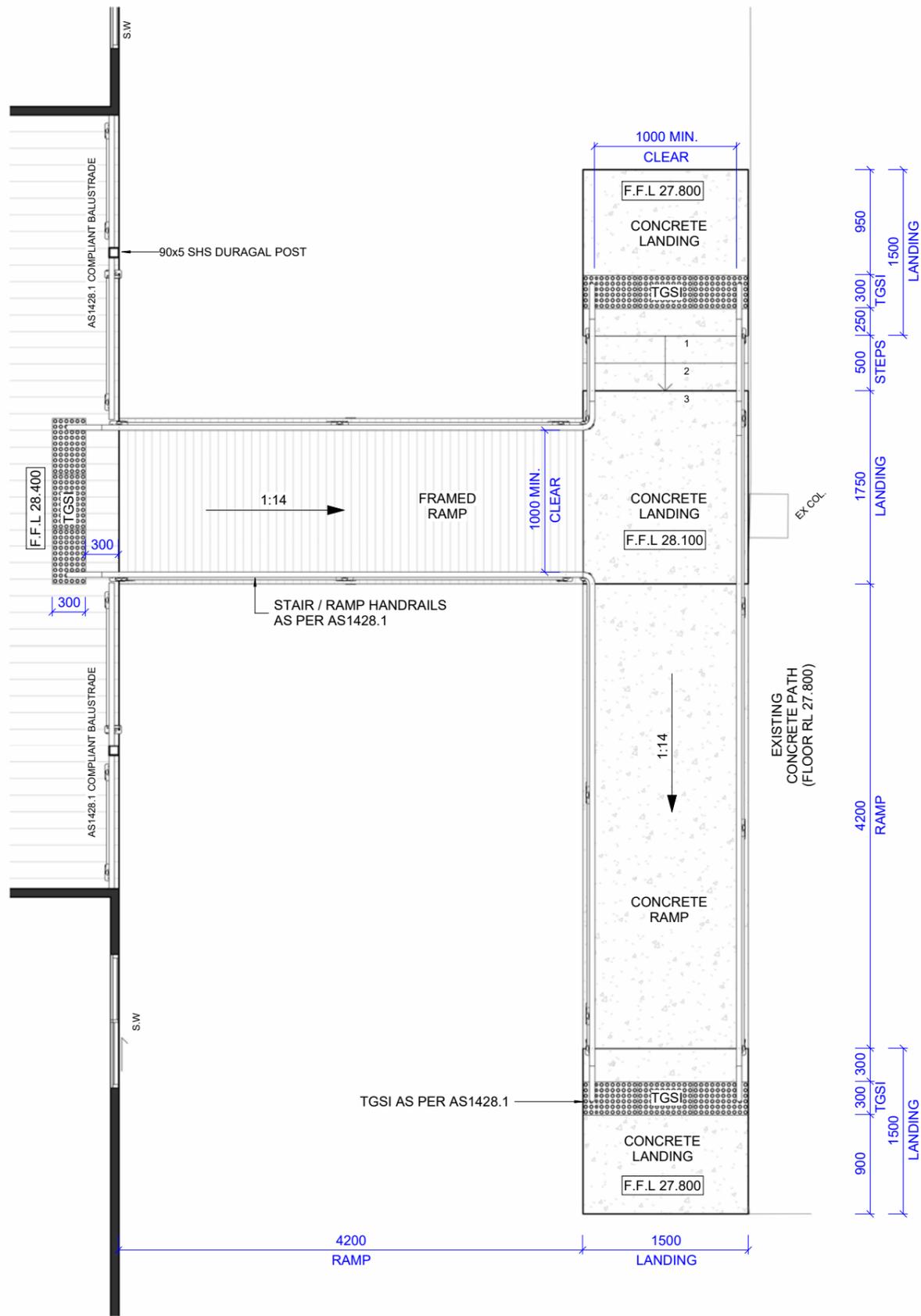
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**NOTES: WALKWAYS**

- THE FLOOR OR GROUND SURFACE ABUTTING THE SIDES OF THE WALKWAY SHALL PROVIDE A FIRM AND LEVEL SURFACE OF A DIFFERENT MATERIAL TO THAT OF THE WALKWAY AT THE SAME LEVEL OF THE WALKWAY, FOLLOW THE GRADE OF THE WALKWAY AND EXTEND HORIZONTALLY FOR A MINIMUM OF 600mm UNLESS ONE OF THE FOLLOWING IS PROVIDED.
  1. KERB IN ACCORDANCE WITH FIGURE 18.
  2. KERB RAIL AND HANDRAIL IN ACCORDANCE WITH FIGURE 18
  3. A WALL NOT LESS THAN 450mm IN HEIGHT.
- WALKWAYS SHALL BE PROVIDED WITH LANDINGS, AS SPECIFIED IN CLAUSE 10.8, AT INTERVALS NOT EXCEEDING THE FOLLOWING:
  1. FOR WALKWAY GRADIENTS OF 1:33, AT INTERVALS NO GREATER THAN 25m
  2. FOR WALKWAY GRADIENTS OF 1:20, AT INTERVALS NO GREATER THAN 15m
  3. FOR WALKWAY GRADIENTS BETWEEN 1:20 TO 1:33, AT INTERVALS SHALL BE OBTAINED BY LINEAR INTERPOLATION.
  4. FOR WALKWAYS SHALLOWER THAN 1:33, NO LANDINGS ARE REQUIRED
- THE INTERVALS SPECIFIED ABOVE MAY BE INCREASED BY 30% WHERE AT LEAST ONE SIDE OF THE WALKWAY IS BOUNDED BY:
  1. A KERB OR KERB RAIL AS SPECIFIED IN CLAUSE 10.3(j) AND A HANDRAIL AS SPECIFIED IN CLAUSE 12; OR
  2. A WALL AND A HANDRAIL AS SPECIFIED IN CLAUSE 12.



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PROJECT PLAN NUMBER:  
#389

BUILDERS NUMBER:  
N/A

CLIENT:  
**FAITH BAPTIST CHRISTIAN SCHOOL**

DRAWING NAME:  
**PWD PLAN**

PROJECT:  
**SCHOOL RENOVATION FOR  
FAITH BAPTIST CHRISTIAN SCHOOL AT  
LOT 21 (#1315) DAWSON HWY  
BURUA QLD 4680**

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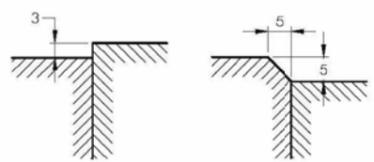
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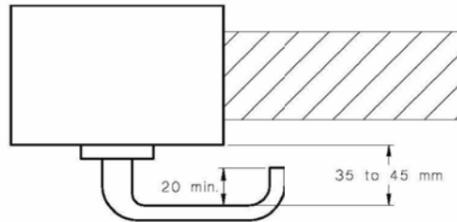
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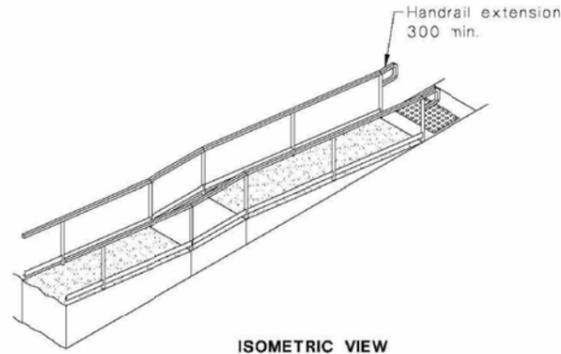
CHANGE IN LEVEL



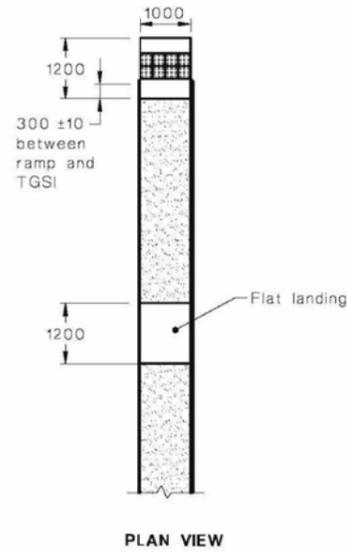
(a) Isometric view



(b) Plan view  
DOOR HANDLE



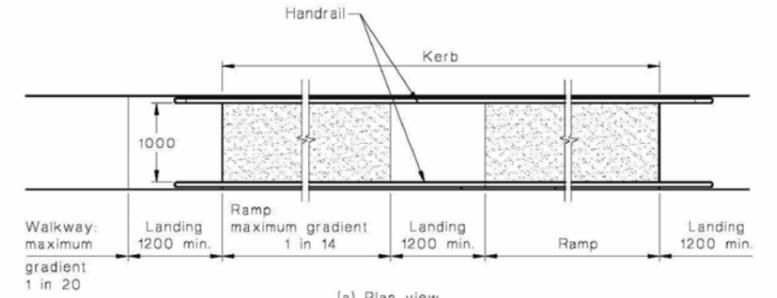
ISOMETRIC VIEW



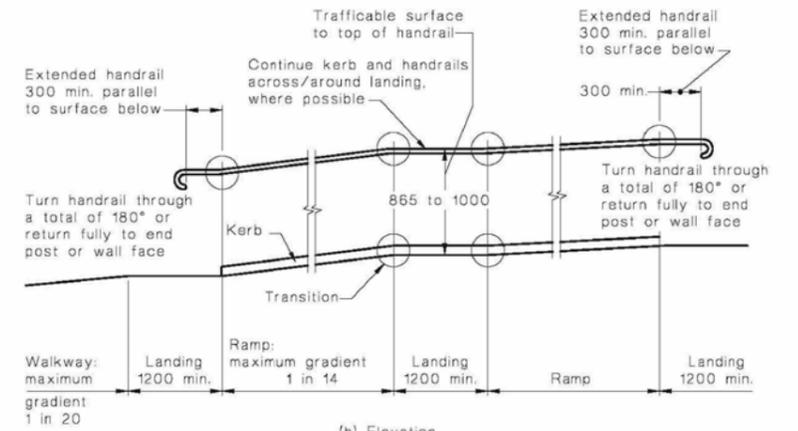
PLAN VIEW

DIMENSIONS IN MILLIMETRES

FIGURE 25(A) RAMPS AND LANDINGS—WITH NO CHANGE IN DIRECTION



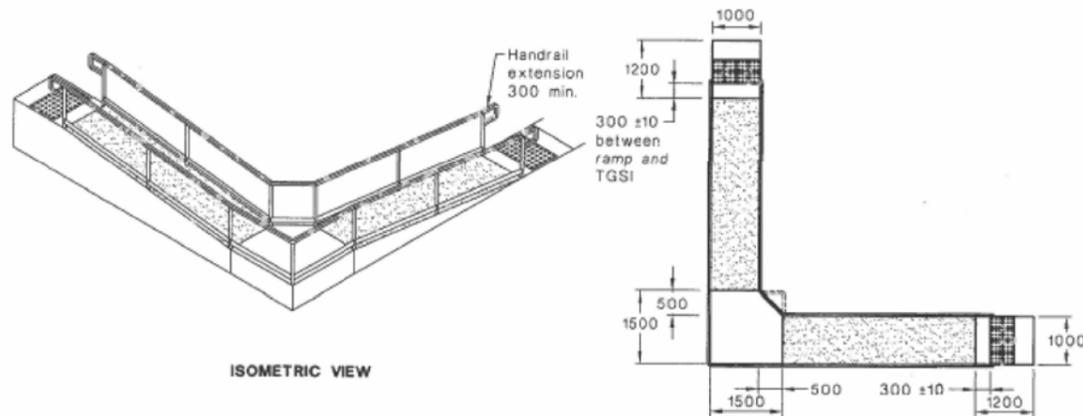
(a) Plan view



(b) Elevation

DIMENSIONS IN MILLIMETRES

FIGURE 14 RAMP HANDRAILS

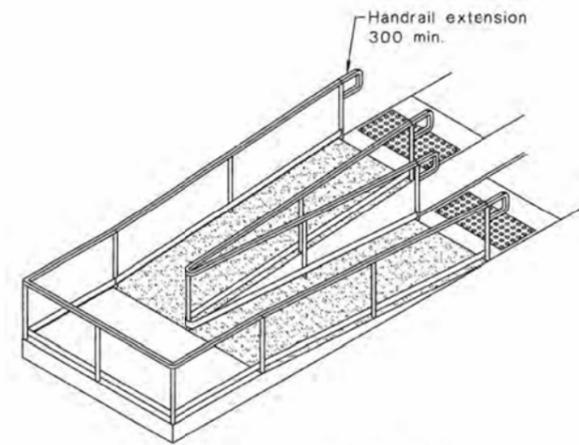


ISOMETRIC VIEW

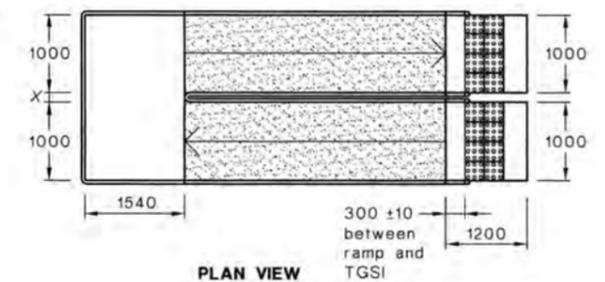
PLAN VIEW

DIMENSIONS IN MILLIMETRES

FIGURE 25(B) RAMPS AND LANDINGS—90° LANDING—INTERNAL



ISOMETRIC VIEW



PLAN VIEW

DIMENSIONS IN MILLIMETRES

FIGURE 25(C) RAMPS AND LANDINGS—180° LANDING

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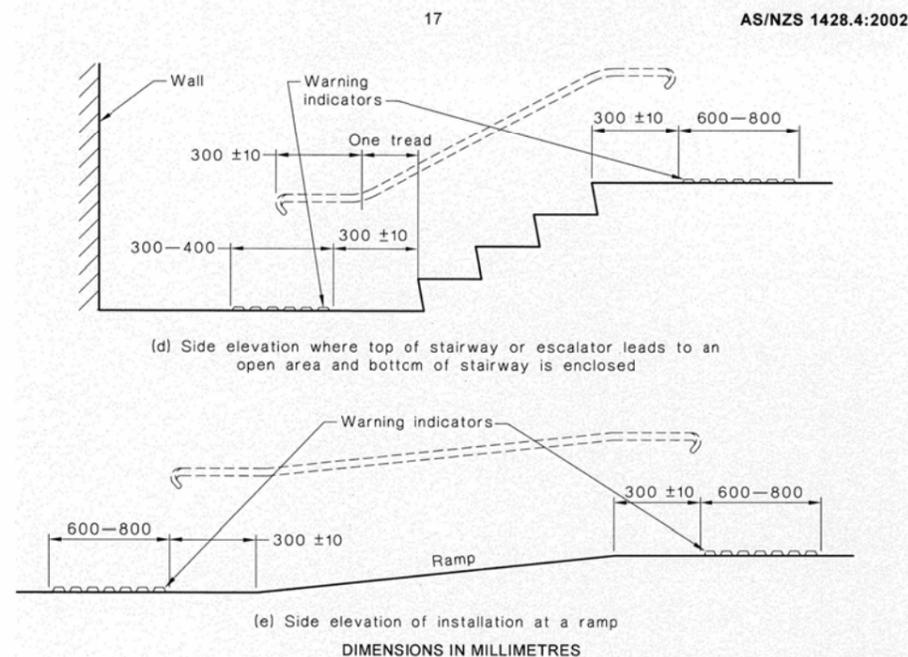


FIGURE A1 (in part) WARNING INDICATORS AT STAIRWAYS, RAMPS, ESCALATORS, AND TRAVELATORS

RAMP TGSIs

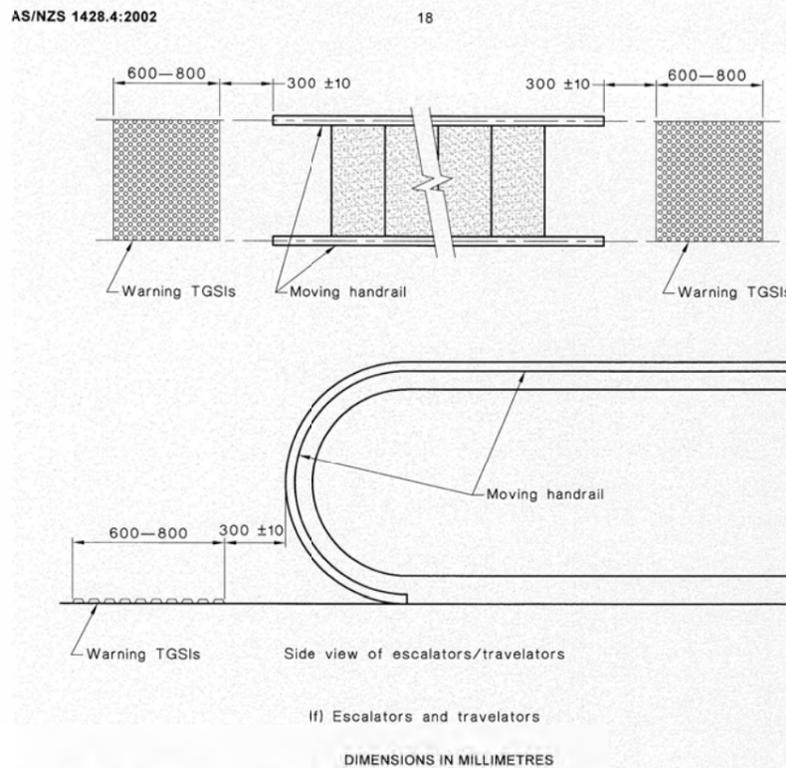


FIGURE A1 (in part) WARNING INDICATORS AT STAIRWAYS, RAMPS, ESCALATORS, AND TRAVELATORS

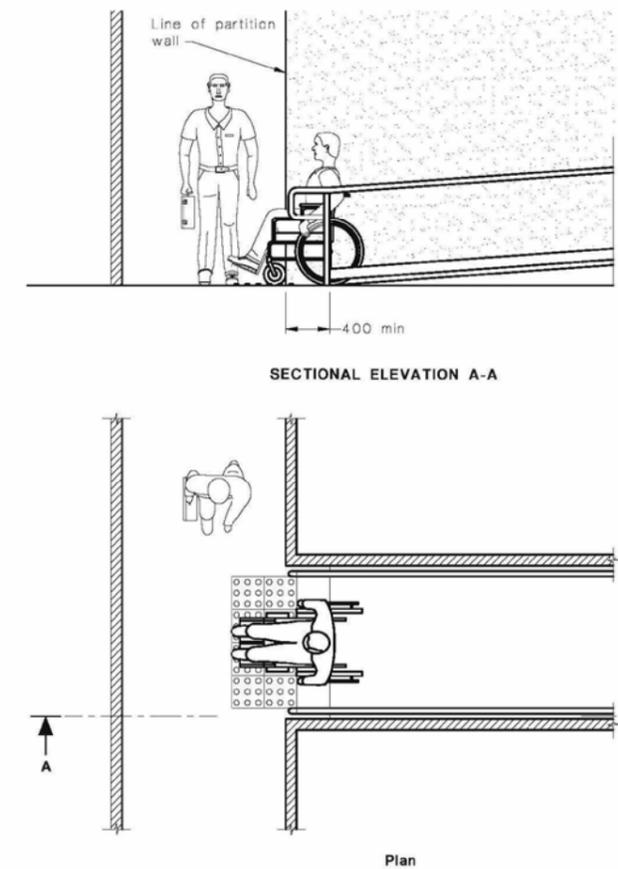


FIGURE 17 LOCATION OF RAMP TO PREVENT PROTRUSION OF HANDRAILS INTO A TRANSVERSE PATH OF TRAVEL OTHER THAN AT BOUNDARIES

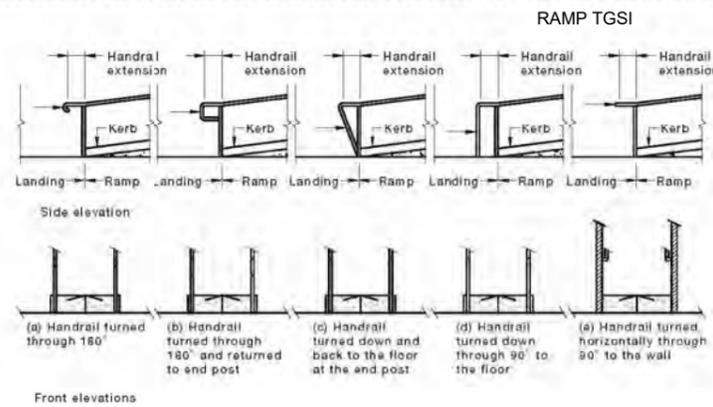
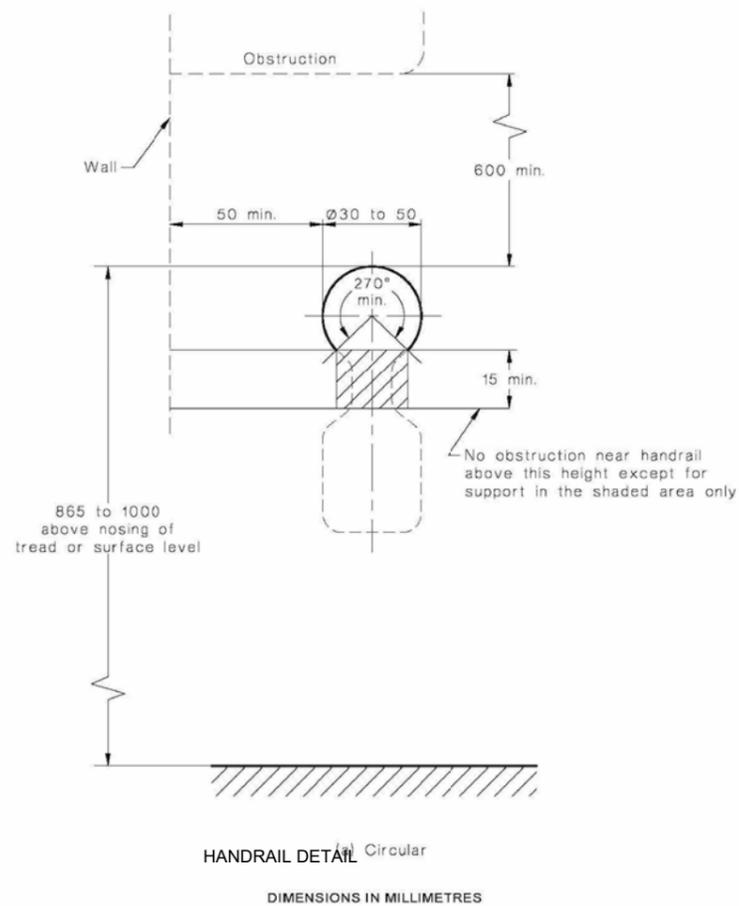


FIGURE 15(A) RAMP HANDRAILS—EXAMPLES OF HANDRAIL TERMINATIONS

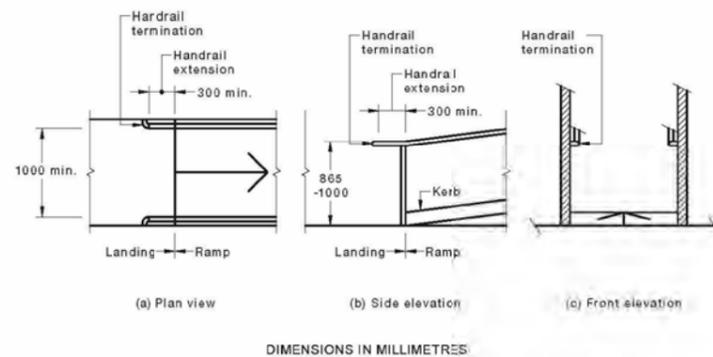


FIGURE 15(B) RAMP HANDRAILS—DETAIL FOR HANDRAILS TERMINATED BY TURNING HORIZONTALLY THROUGH 90° TO THE WALL

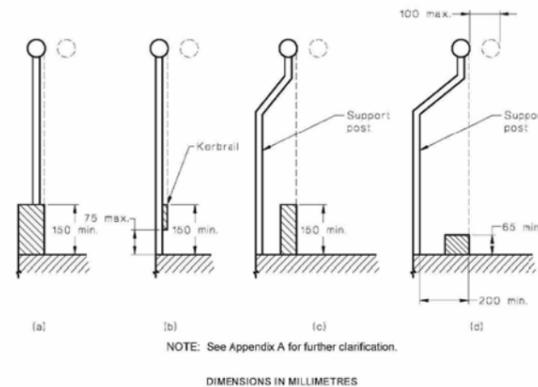
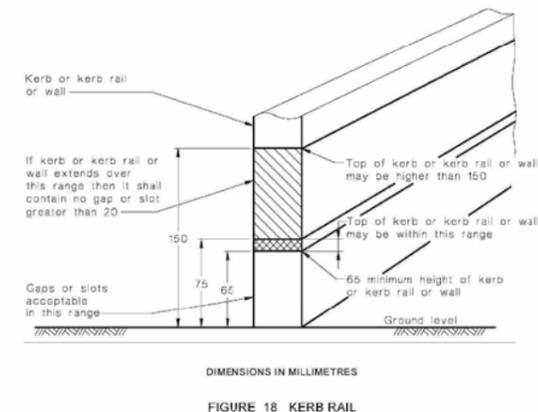
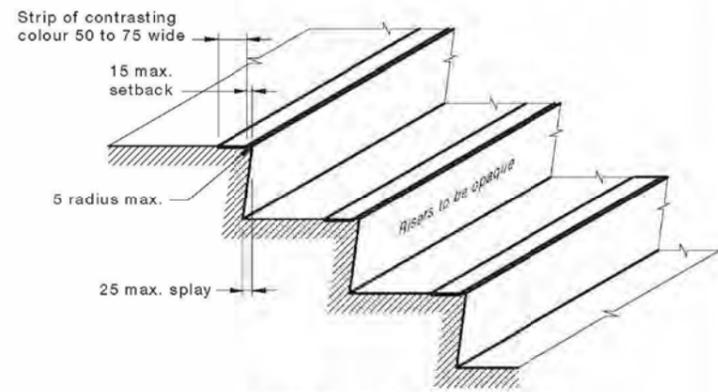


FIGURE 19 SECTION SHOWING LOCATION OF KERB OR KERB RAIL IN RELATION TO HANDRAIL WITH VERTICAL SUPPORT

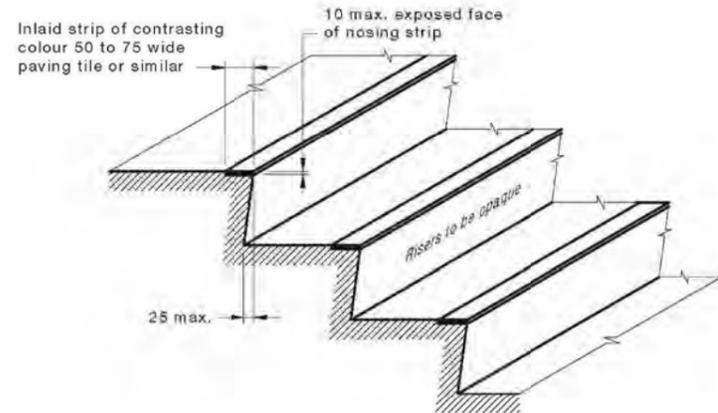
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NOTE: A chamfered nosing 5 x 5 mm may be used.

DIMENSIONS IN MILLIMETRES

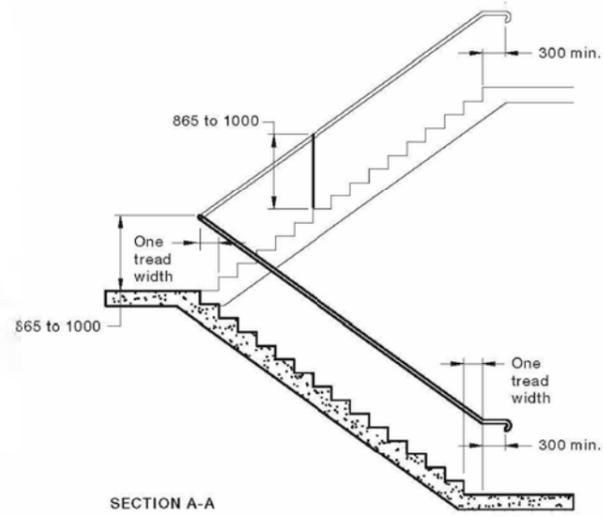
FIGURE 27(A) A TYPICAL STAIR NOSING PROFILE WITH NOSING STRIP



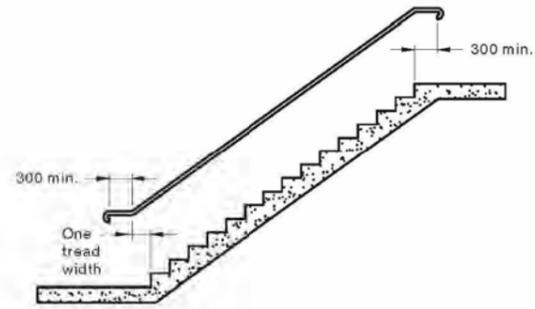
DIMENSIONS IN MILLIMETRES

FIGURE 27(B) A TYPICAL STAIR NOSING PROFILE WITH EXPOSED NOSING STRIP

STAIR DETAILING



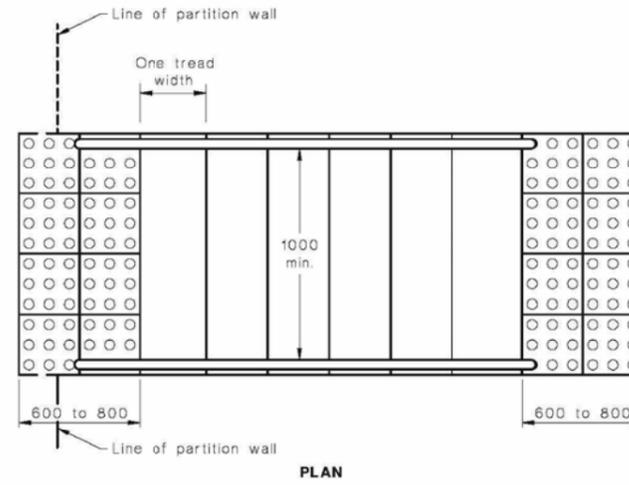
SECTION A-A



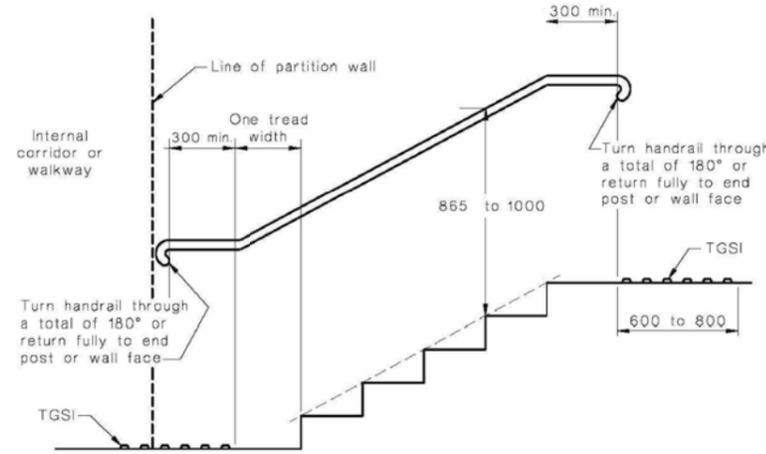
SECTION B-B

(b) Sections

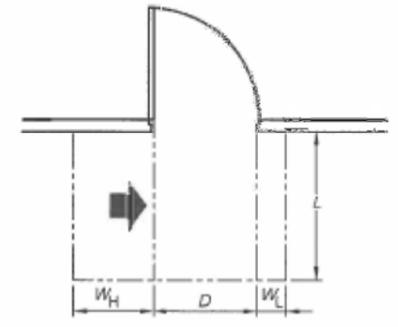
DIMENSIONS IN MILLIMETRES



PLAN

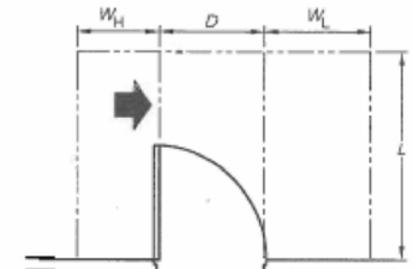


SECTIONAL VIEW



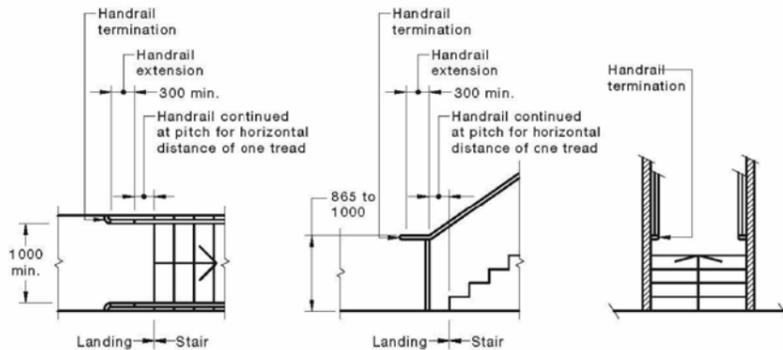
Dimension D	Dimension L	Dimension W <sub>H</sub>	Dimension W <sub>L</sub>
850	1220	560	340
900	1185	510	340
950	1160	460	340
1000	1140	410	340

(a) Hinge-side approach, door opens away from user



Dimension D	Dimension L	Dimension W <sub>H</sub>	Dimension W <sub>L</sub>
850	1670	660	900
900	1670	610	900
950	1670	560	900
1000	1670	510	900

(e) Hinge-side approach, door opens towards user

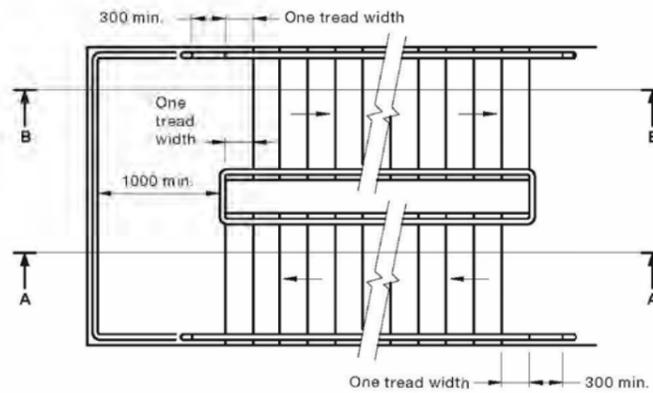


(a) Plan view

(b) Side elevation

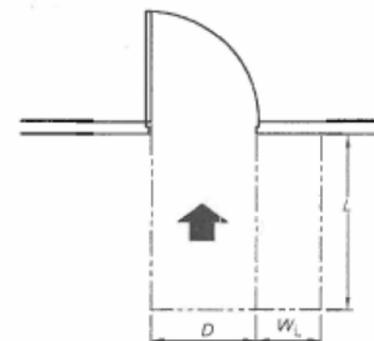
(c) Front elevation

DIMENSIONS IN MILLIMETRES



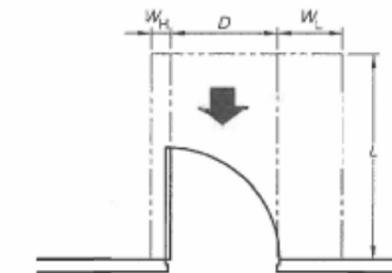
(a) Plan

DIMENSIONS IN MILLIMETRES



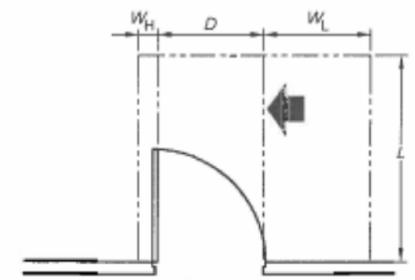
Dimension D	Dimension L	Dimension W <sub>H</sub>	Dimension W <sub>L</sub>
850	1450	0	510
900	1450	0	510
950	1450	0	510
1000	1450	0	510

(d) Front approach, door opens away from user



Dimension D	Dimension L	Dimension W <sub>H</sub>	Dimension W <sub>L</sub>
850	1450	110	530
900	1450	110	530
950	1450	110	530
1000	1450	110	530

(h) Front approach, door opens towards user



Dimension D	Dimension L	Dimension W <sub>H</sub>	Dimension W <sub>L</sub>
850	1670	110	900
900	1670	110	900
950	1670	110	900
1000	1670	110	900

(f) Latch-side approach, door opens towards user

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