

NOTICE OF INTENTION TO COMMENCE PUBLIC CONSULTATION

Section 17.2 of the Development Assessment Rules

Application reference number:	DA/10/2024
Applicant name:	Renee Simmons
Contact address/email address:	Jane Duro jane@steffanharries.au
Contact number:	(07) 3317 0042
Notice date:	12 April 2024
Assessment managers name:	Gladstone Regional Council / Nicholas Cooper
Assessment managers address:	nicholas.cooper@gladstone.qld.gov.au

RE: DEVELOPMENT APPLICATION for a Dwelling House on land at 16 Ocean Street, Tannum Sands QLD 4680, properly described as Lot 206 on T8282

Dear Nicholas

In accordance with section 17.2 of the Development Assessment Rules, we intend to start the public notification required under section 17.1 on the **15th April 2024** and end on the **10th May 2024**.

At this time, we can advise that we intend to:

- Publish a notice in the Gladstone Observer (online) on the following date: 12th April 2024.
- Place a public notice land sign on the frontage/s of the premises in the way prescribed under the Development Assessment Rules on the following date: 14th April 2024; and
- Notify the owners of all lots adjoining the premises of the subject of the application sent via registered post on the following date: 12th April 2024

If you wish to discuss this matter further, please contact me on the above telephone number.

Kind regards,





Jane Duro | Senior Town Planner

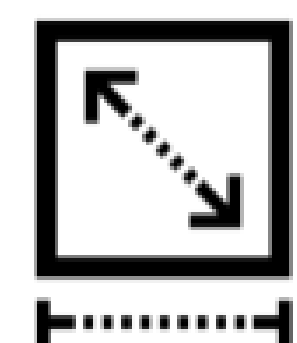
Steffan Harries

Email: jane@steffanharries.au

PROPOSED DEVELOPMENT HAVE YOUR SAY

Dwelling House

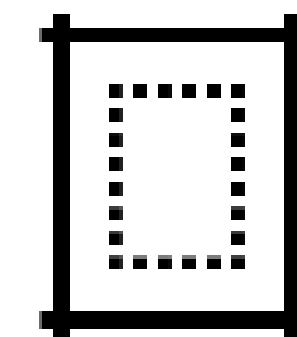
-  **16 Ocean Street, Tannum Sands QLD 4680**
-  **Lot 206 on T8282**
-  **Approval sought:** Development Permit – Material Change of Use – Dwelling House
-  **Application reference:** DA/10/2024
-  **Make a submission: 15 April to 10 May 2024**



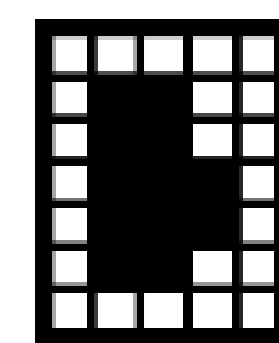
Lot size and frontage
592sqm lot size, 11.1m lot frontage



Building height
9.9m building height (2 storeys)



Setbacks
1m side setback
2.4m road setback (east)
5m road setback (north)
4.2m road setback (south)



Site cover
~49%

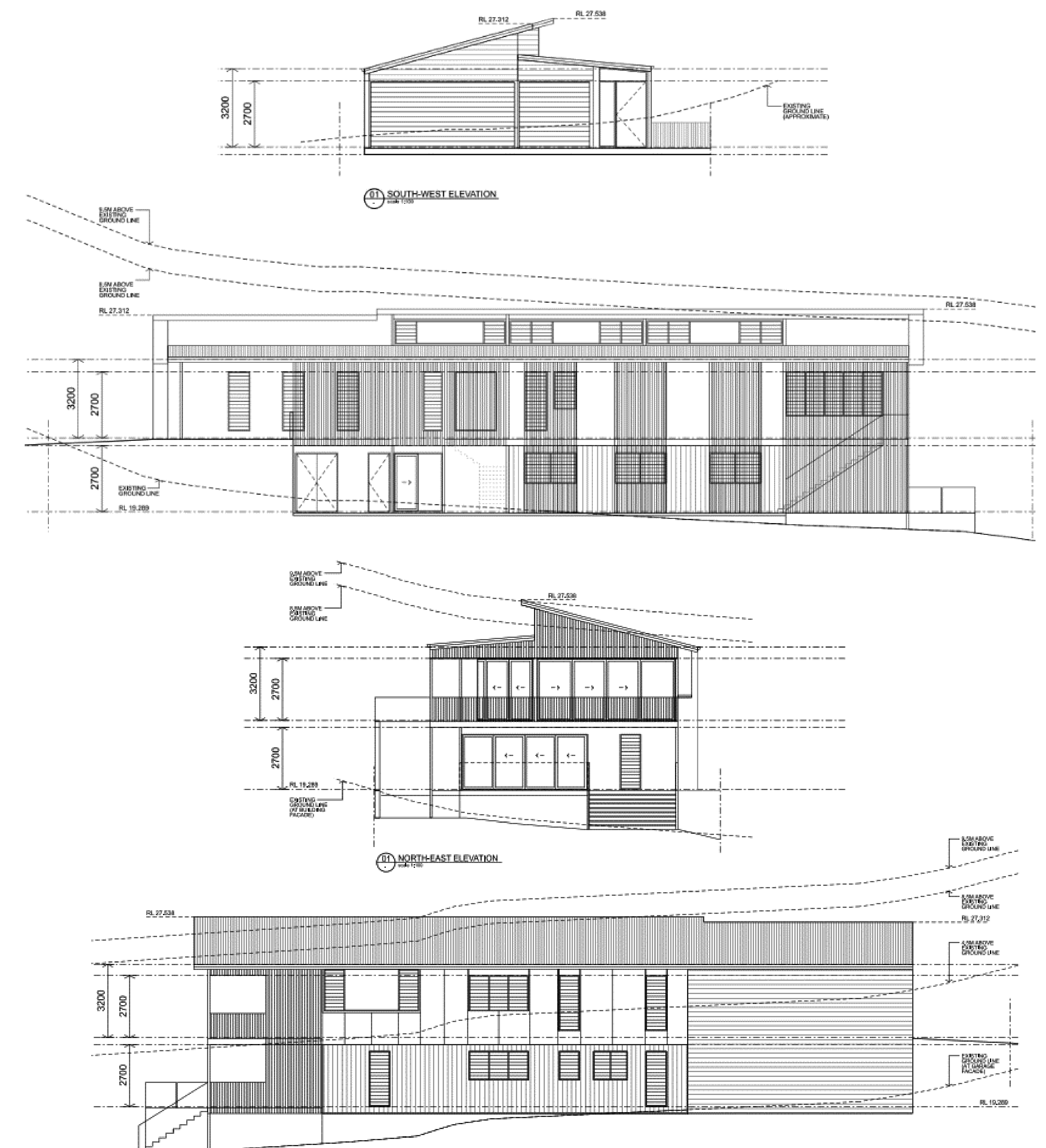
For further information and to view a copy of the application, contact:

- Gladstone Regional Council
- <https://www.gladstone.qld.gov.au/>
- info@gladstone.qld.gov.au
- (07) 4970 0700

Submissions can be made to:

- Gladstone Regional Council
- PO Box 29 Gladstone, QLD, 4680
- info@gladstone.qld.gov.au

To be eligible for appeal rights under the Planning Act 2016 submissions must be received within the period to make a submission stated above.



Proposed Development

Make a submission from
15 April to 10 May 2024

Dwelling House

Where: 16 Ocean Street, Tannum
Sands QLD 4680

On: Lot 206 on T8282

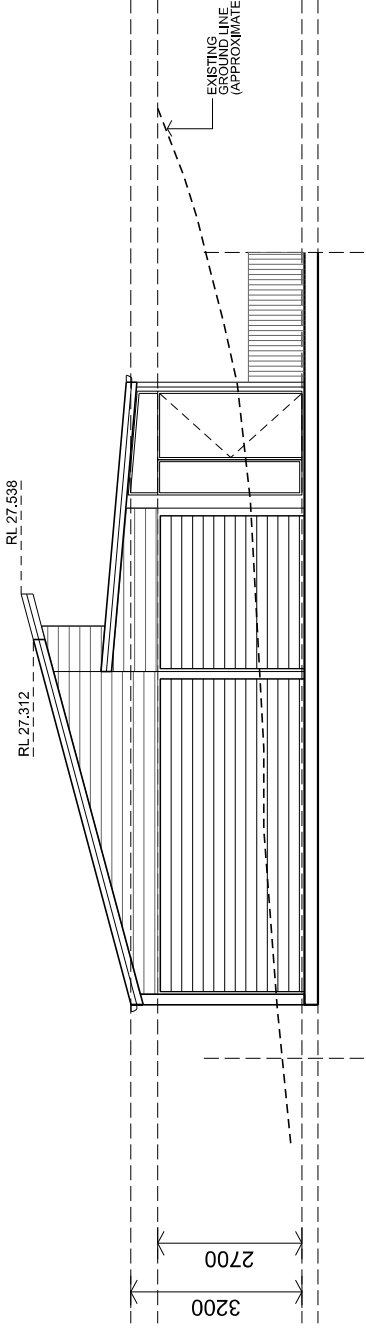
Approval sought: Development
Permit for Material Change of Use –
Dwelling House

Application ref: DA/10/2024

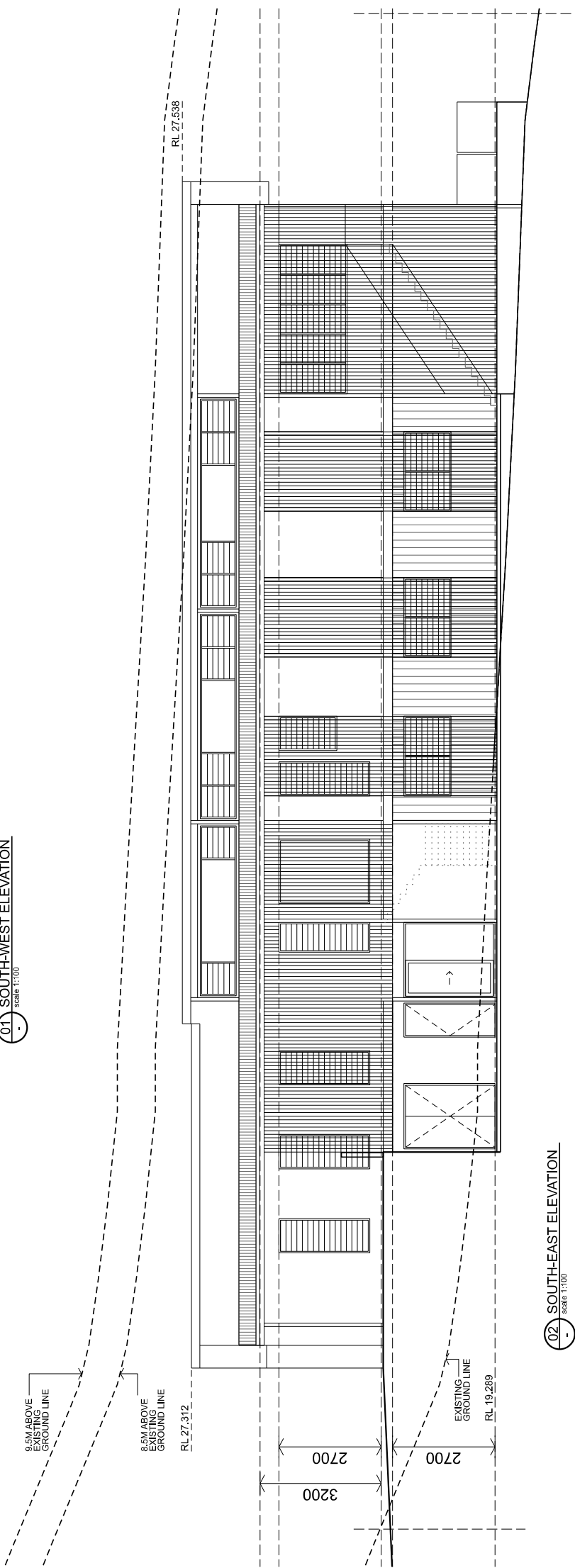
**You may obtain a copy of the
application and make a
submission to:**

Gladstone Regional Council
PO Box 29 Gladstone, Qld 4680
info@gladstone.qld.gov.au
(07) 4970 0700
www.gladstone.qld.gov.au

Public notification requirements are in
accordance with the *Planning Act 2016*



01 SOUTH-WEST ELEVATION
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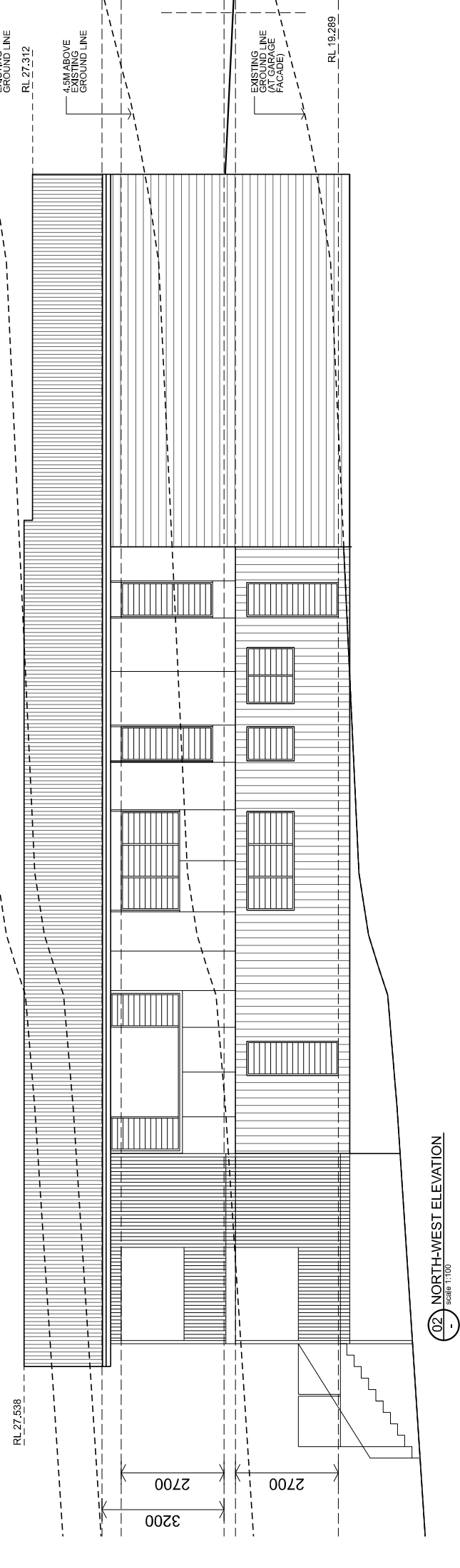
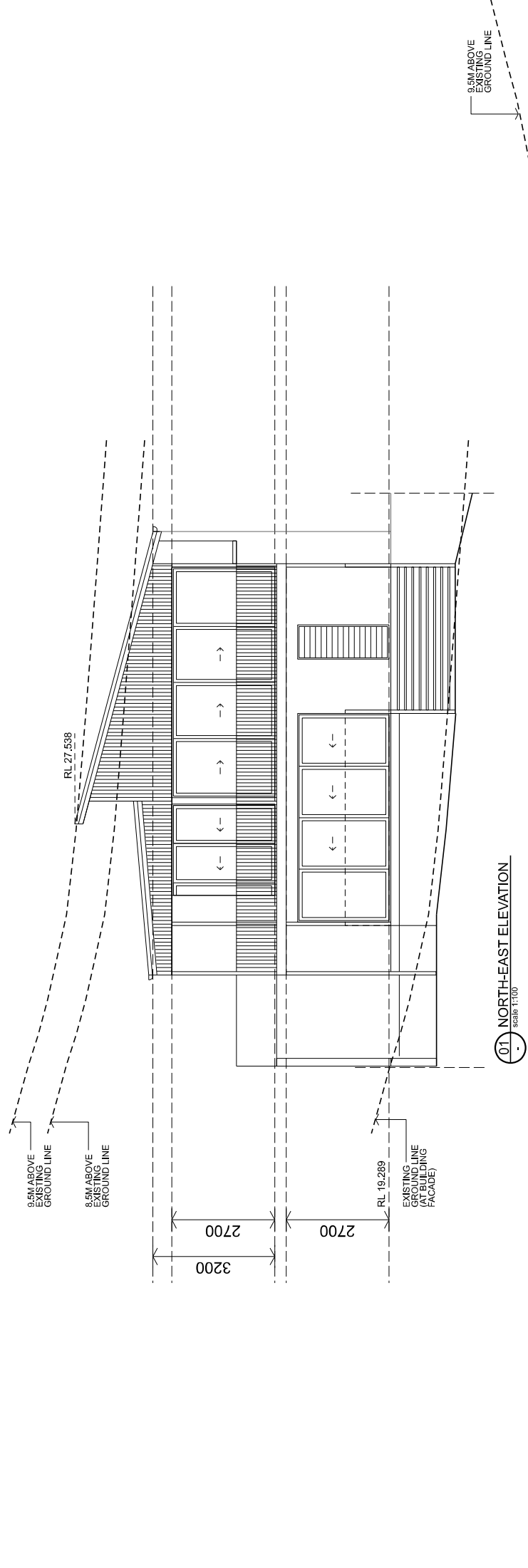


02 SOUTH-EAST ELEVATION
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OCEAN STREET RESIDENCE

ELEVATIONS

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Version: 1, Version Date: 27/03/2024



OCEAN STREET RESIDENCE

ELEVATIONS

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DRAWING NO. SD_0402
ISSUE P3
DATE AUG 23
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